

# Council Assessment Panel

## Meeting Agenda

Monday, 9 September 2019, at 5.30 pm, Colonel Light Room, Town Hall, Adelaide.

Presiding Member – Mr John Hodgson [Apology]

Acting Presiding Member – Councillor Anne Moran

Specialist Members – Mr Ross Bateup, Mr Heath Edwards [Apology] and Mads Gaardboe

### 1. Confirmation of Minutes – 19/8/2019 [CAP]

*That the Minutes of the meeting of the City of Adelaide Council Assessment Panel held on 19 August 2019, be taken as read and be confirmed as an accurate record of proceedings.*

### 2. Non-Complying Applications - Nil

### 3. Application for consideration on Merit

#### 3.1 Subject Site                      21-24 North Terrace, Adelaide SA 5000 [Page 3]

Application No.                      DA/345/2019

Proposal                                      Alterations and additions to existing building including three additional levels to North Terrace and five additional levels to Gray Street

Recommendation                      Development Plan Consent Be GRANTED

### 4. Other Applications - Nil

### 5. Other Business

#### 5.1 List of Recent Lodgements for Planning Consent (2017/02505) [Page 74]

#### 5.2 Other Business

### 6. Exclusion of the Public

#### 6.1 Exclusion of the Public from attendance at the meeting to Consider Item 7.1 on a Confidential basis [Page 80]

Item 7.1 – ERD Court Consideration – DA/812/2018

Section 13(2) (a) (ix) information relating to actual litigation, or litigation that the panel believes on reasonable grounds will take place

[*Planning, Development and Infrastructure (General) Regulations 2017 (SA)*]

**7. Matter for Consideration on a Confidential Basis**

<b>7.1</b>	<u>Subject Site</u>	<u>Land, 22A Moger Lane, Adelaide SA 5000 [Page 82]</u>
	Application No.	DA/812/2018
	Proposal	ERD Court Consideration - Construct three four-storey townhouses on existing allotment

**8. Closure**

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## CITY OF ADELAIDE COUNCIL ASSESSMENT PANEL ON 9/9/2019

<b>Item No</b>	<b>3.1</b>
Address	21-24 North Terrace, Adelaide SA 5000
Proposal	Alterations and additions to existing building including three additional levels to North Terrace and five additional levels to Gray Street, DA/345/2019 – HD [CAP]
Applicant	Giordano & Associates
Relevant Development Plan	7 June 2018
Lodgement Date	16 May 2019
Zone / Policy Area	Capital City Zone
Public Notification	Category 1
Application Type	Application Assessed on Merit
Delegations Policy	Contentious, controversial or significant
<b>Recommendation</b>	<b>Development Plan Consent Be GRANTED</b>

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### ATTACHMENTS

#### Plans and Supporting Information

- Plans 1 – 15
  - Design Statement 16
  - Planning report 17 – 20
  - Heritage Report 21 – 34
  - Traffic Statement 35 – 44
  - Certificate of Title 45 – 47
- 

### PERSONS SPEAKING BEFORE THE PANEL

Nil

## **1. DESCRIPTION OF PROPOSAL**

- 1.1 Planning consent is sought for alterations and additions to the existing four storey office building located on the corner of North Terrace and Gray Street. The development proposes to construct an additional three levels to the taller portion of the building fronting North Terrace, and an additional five levels to the existing two-storey portion located to the rear (south) of the allotment.
- 1.2 Additional steel support columns and upgrading to existing structural columns is required throughout the building to reinforce it for the load of the additional levels. Structural modifications to the existing basement carpark will result in a reduction of existing car parking spaces from 25 to 11.
- 1.3 The proposed use for the building is offices/medical consulting rooms.

## **2. DEVELOPMENT DATA**

Not relevant to this application.

## **3. BACKGROUND**

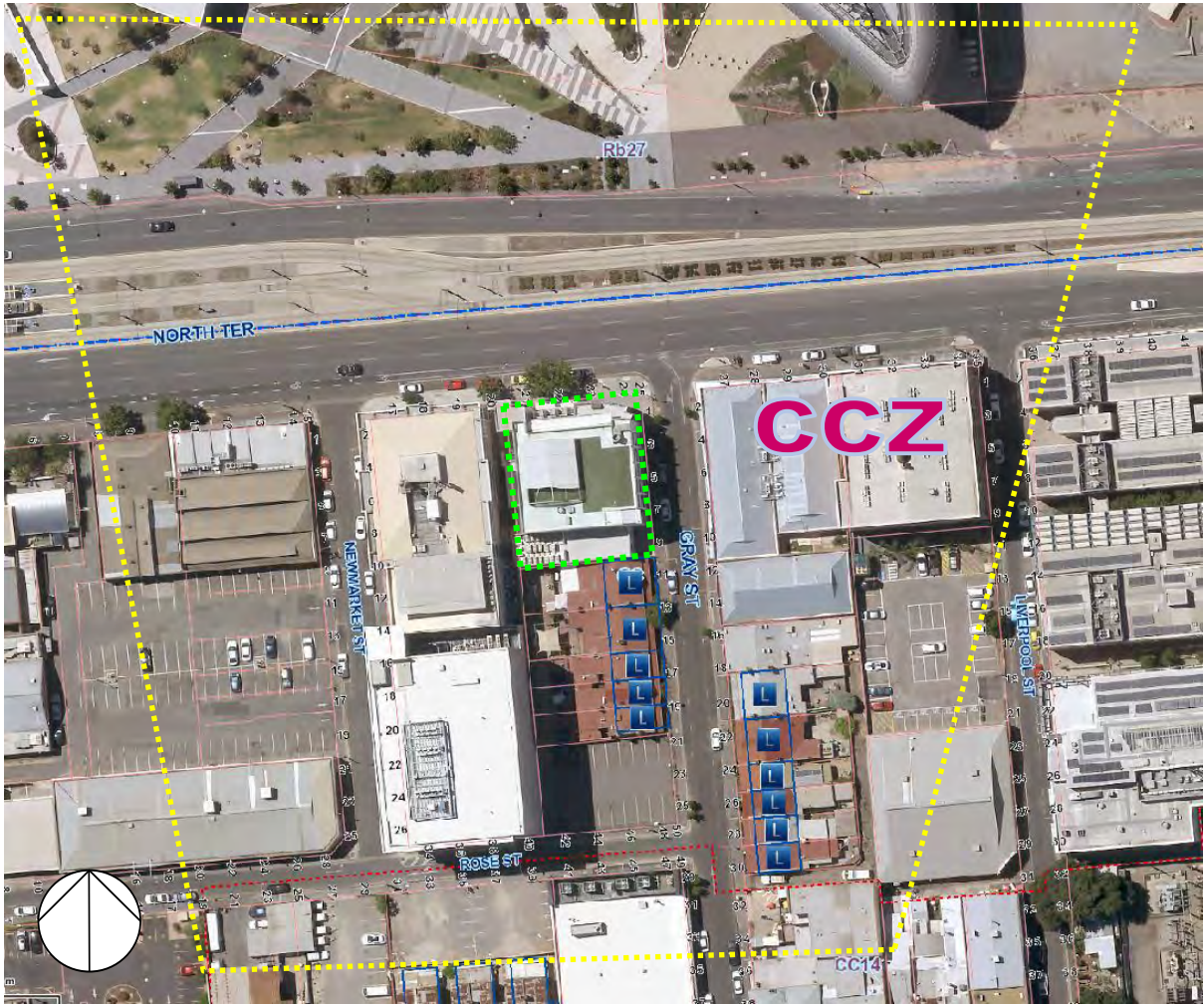
- 3.1 The construction of the existing four storey, part two storey office building and basement car parking for 25 cars was approved by Council in May 1999 (DA/262/1999).
- 3.2 The two-storey element on the southern rear boundary was incorporated into the development in response to the policy at the time and to design advice from Council's Heritage Services.
- 3.3 With regard to the current proposal, the Administration has been involved in significant negotiations with the applicant's architect to resolve design issues in relation to the apparent tension between the increased height of the development and the low scale heritage listed cottages to the south of the subject site. Initially, the applicant was encouraged to retain the existing lower portion located adjacent the cottages.
- 3.4 The applicant has worked with the Administration, making modifications the southern and eastern elevations however, they have advised that for the proposal to be economically viable, the building height needs to be increased over the lower portion of the site as well as the higher portion. For this reason, no changes have made in relation to maintaining the existing setback to the cottages.

## **4. SITE**

- 4.1 The subject land is a rectilinear allotment located on the corner of North Terrace and Gray Street. The site has a 26.6 metre frontage to North Terrace and a 32 metre frontage to Gray Street resulting in a site area of approximately 849 m<sup>2</sup>.
- 4.2 As detailed in section 3.1, the existing building is a four-storey office building with a two-storey element located on the southern boundary of the allotment. The two-storey component was developed as a contextual response to the five single storey row cottage dwellings to the south.
- 4.3 The existing building façade comprises a mix of polished concrete panels, green tinted frameless glazing panels, stainless steel cladding and painted concrete spandrels.
- 4.4 Vehicular access to the basement car park is via a ramped entrance from Gray Street.

## **5. LOCALITY**

- 5.1 The locality is of mixed character, exhibiting a variety of building forms and heights, varying from one to five storeys.
- 5.2 Land uses in the locality are predominantly commercial in nature with a mix of medical/consulting rooms, car parking (both contained within buildings and at grade), offices and educational uses. There are also several low scale residential buildings.
- 5.2 The northern side of North Terrace is characteristic of the new health and research precinct which has emerged in recent years. Directly adjacent the subject site is the New Royal Adelaide Hospital (NRAH) in addition to the South Australian Health and Medical Research Institute (SAHMRI) which display largely massed built form.
- 5.3 Directly south of the subject site is five single storey row dwellings which are listed as Local Heritage Places (Townscape). Similar single storey row dwellings are located on the east side of Gray Street, further south of the subject site.









<b>KEY</b>			
	Subject Site		Local Heritage Place
	Capital City Zone		Locality
	Zone Boundary		Policy Area Boundary

Photo 1 – Subject site viewed from North Terrace looking south



Photo 2 – Subject site and abutting LHP viewed from Gray Street looking north west



Photo 3 – Single storey dwellings adjacent subject site looking north



Photo 4 – Gray Street dwellings and multi-storey car park behind. Looking south west





Photo 5 – New Royal Adelaide Hospital adjacent subject site



Photo 6 – SAMHRI and UniSA building viewed from Gray Street looking north east



Photo 7 – Existing façade of subject site viewed from North Terrace looking west



Photo 8 – Subject site and single storey dwellings looking north



## **6. PUBLIC NOTIFICATION**

- 6.1 The proposal is a Category 1 form of development therefore no public notification is required.

## **7. REQUIRED EXTERNAL REFERRALS**

- 7.1 No external referrals required.

## **8. SPECIALIST ADVICE**

### **8.1 Local Heritage**

- The proposed seven storey element of the development on the corner of North Terrace and Gray Street is not considered to have a significant impact on the local heritage place given the existing multi-storey developments along North Terrace and Newmarket Street.

Regarding the amended southern and eastern façades, they now feature vertical aluminium blades to reference the vertical elements in the cottages, in particular the verandah posts and the masonry dividing walls between the cottages. On the southern elevation the screens are bookended by painted fibre cement cladding with expressed joints. The Gray Street facade is clad with aluminium blades between fibre cement clad columns. Balconies are now provided on each level and the vertical fins and columns are continuous.

The cladding system is considered an improvement on the previous façade design, however the strong verticality without any horizontal articulation, in my opinion emphasises the disparity in the scale between the proposed development and the row cottages. The previous design featured a wraparound balcony on Level 5 which assisted in breaking up the scale of the building in relation to the adjacent cottages.

The proposed dark grey colour for the cladding and screens is more visually recessive than the previously proposed white palette and is considered acceptable.

### **8.2 Traffic**

- No objections subject to the amended car parking layout proposed in the Traffic report by Phil Weaver dated 30 July 2019 being adopted and implemented in accordance with Australian Standards (AS2890 series) and the Pavement Marking Manual.

## 9. DETAILED ASSESSMENT

### 9.1 Summary of Zone Objectives & Principles

#### Capital City Zone Desired Character Statement (relevant components extracted)

*This Zone is the economic and cultural focus of the State and includes a range of employment, community, educational, tourism and entertainment facilities. It is anticipated that an increased population within the Zone will complement the range of opportunities and experiences provided in the City and increase its vibrancy.*

*High-scale development is envisaged in the Zone with high street walls that frame the streets. However an interesting pedestrian environment and human scale will be created at ground floor levels through careful building articulation and fenestration, frequent openings in building façades, verandahs, balconies, awnings and other features that provide weather protection.*

*...New development will achieve high design quality by being:*

- (a) **Contextual** – so that it responds to its surroundings, recognises and carefully considers the adjacent built form, and positively contributes to the character of the immediate area.*
- (b) **Durable** – by being fit for purpose, adaptable and long lasting, and carefully considers the existing development around it.*
- (c) **Inclusive** – by integrating landscape design to optimize pedestrian and cyclist usability, privacy, and equitable access, and also promote the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimize security and safety both internally and into the public realm, for occupants and visitors alike.*
- (d) **Sustainable** – by integrating sustainable systems into new buildings and the surrounding landscape design to improve environmental performance and minimise energy consumption.*
- (e) **Amenable** – by providing natural light and ventilation to habitable spaces.*

*Contemporary juxtapositions will provide new settings for heritage places. Innovative design is expected in areas of identified street character with an emphasis on contemporary architecture that responds to site context and broader streetscape, while supporting optimal site development. The addition of height, bulk and massing of new form should be given due consideration in the wider context of the proposed development.*

*There will also be a rich display of art that is accessible to the public and contextually relevant.*

#### **Adelaide's pattern of streets and squares:**

*The distinctive grid pattern of Adelaide will be reinforced through the creation of a series of attractive boulevards as shown on Concept Plan Figures CC/1 and 2. These boulevards will provide a clear sense of arrival into the City and be characterised by buildings that are aligned to the street pattern, particularly at ground level.*

*Views to important civic landmarks, the Park Lands and the Adelaide Hills will be retained as an important part of the City's charm and character.*

*The City's boulevards, terraces and Squares will be developed as follows:*

- (a) North Terrace will be reinforced as an important pedestrian promenade and cultural boulevard that provides an important northern edge to the City square mile.*

*Development fronting North Terrace, King William Street, Wakefield Street, Grote Street, the Squares, and in the Main Street Policy Area, will reflect their importance through highly contextual design that reflects and responds to their setting and role.*

Subject DP Ref	Assessment	Achieved ✓ Not Achieved ✗
<b>Desired Character</b>	<ul style="list-style-type: none"> <li>Partially achieved.</li> <li>See Detailed Assessment.</li> </ul>	✓✗
<b>Objectives</b> O1-8	<ul style="list-style-type: none"> <li>Appropriate land uses.</li> <li>Partially responds to building's context (see Detailed Assessment).</li> <li>Reinforces the grid layout.</li> </ul>	✓✗
<b>Land Use</b> P1	<ul style="list-style-type: none"> <li>Offices and consulting rooms are envisaged land uses within the Capital City Zone.</li> </ul>	✓
<b>Form and Character</b> P5	<ul style="list-style-type: none"> <li>Partially achieved (see Detailed Assessment).</li> </ul>	✓✗
<b>Design and Appearance</b> P6-20	<ul style="list-style-type: none"> <li>Design of sufficient quality of architectural design, use of materials and finishes.</li> <li>Existing lower levels – no changes.</li> <li>Existing setback to Gray Street maintained.</li> <li>Additional levels to main face setback.</li> <li>Façade adequately modelled with consistent architectural detailing.</li> <li>Well integrated with the architectural detailing of existing building.</li> <li>Contributes to the continuous built form framing the City edge.</li> <li>Reinforces the predominant scale and 'City wall' character of North Terrace.</li> </ul>	✓
<b>Building Heights</b> P21-22	<ul style="list-style-type: none"> <li>Achieves minimum.</li> <li>Does not exceed maximum.</li> <li>See Detailed Assessment.</li> </ul>	✓
<b>Movement</b> P26-32	<ul style="list-style-type: none"> <li>Achieved.</li> <li>See Detailed Assessment.</li> </ul>	✓

## 9.2 Summary of Council Wide Objectives & Principles

Subject DP Ref	Assessment	Achieved ✓ Not Achieved ✗
<b>ENVIRONMENTAL</b>		
<b>Crime prevention</b> O24 P82	<ul style="list-style-type: none"> <li>Achieved.</li> <li>Lower levels are existing.</li> </ul>	✓
<b>Energy Efficiency</b> O30 P115	<ul style="list-style-type: none"> <li>Achieved.</li> </ul>	✓
<b>Micro climate and sunlight</b> O33-34 P119-125	<ul style="list-style-type: none"> <li>Existing building already impacts upon adjacent low scale development regarding overshadowing.</li> <li>Proposal will exacerbate overshadowing impact.</li> <li>No existing canopy to street however building incorporates setbacks and a level of articulation that is likely to assist in reducing wind tunnel effect.</li> </ul>	✓✗
<b>Heritage &amp; Conservation</b> O43 P140	<ul style="list-style-type: none"> <li>Partially achieved.</li> <li>Refer to Detailed Assessment.</li> </ul>	✓✗
<b>Height, Bulk and Scale</b> P168-172	<ul style="list-style-type: none"> <li>Standard of design acceptable.</li> <li>Intensifies urban development.</li> <li>Does not exceed OLS maximum height.</li> </ul>	✓
<b>Materials, Colours &amp; Finishes</b> P187-190	<ul style="list-style-type: none"> <li>Achieved.</li> <li>Sufficient quality and complementary materials to the existing.</li> </ul>	✓
<b>Access &amp; Movement</b> O60 P224-225	<ul style="list-style-type: none"> <li>Existing access.</li> </ul>	✓
<b>Traffic and vehicle access</b> O72-74 P242-250	<ul style="list-style-type: none"> <li>Achieved.</li> </ul>	✓

<p><b>Car parking</b> O71 P251-252</p>	<ul style="list-style-type: none"> <li>• There is no requirement to provide off-street car parking in the Capital City Zone.</li> <li>• The proposal will result in a reduction of car parking spaces from 25 to 11, one of which is DDA compliant.</li> <li>• The changes have now brought the previous non-compliant parking provision into line with current standards.</li> </ul>	<p style="text-align: center;">✓</p>
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### 9.3 Detailed Discussion

#### Desired Character and Land Use

The subject site is located in the Capital City Zone. The desired character considers the Zone to be the economic and cultural focus of the State, achieved through a range of employment, community, educational, tourism and entertainment facilities. High-scale development is envisaged in the Zone with high street walls that frame the streets.

In important pedestrian areas, buildings should be set back at higher levels above the street wall, providing views to the sky, creating a comfortable pedestrian environment. In narrow streets and laneways, the street setback above the street wall may be relatively shallow or non-existent to create intimate spaces through a greater sense of enclosure.

The desired character seeks new development to achieve high design quality by being:

- (a) **Contextual** – so that it responds to its surroundings, recognises and carefully considers the adjacent built form, and positively contributes to the character of the immediate area.
- (b) **Durable** – by being fit for purpose, adaptable and long lasting, and carefully considers the existing development around it.
- (c) **Inclusive** – by integrating landscape design to optimize pedestrian and cyclist usability, privacy, and equitable access, and also promote the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimize security and safety both internally and into the public realm, for occupants and visitors alike.
- (d) **Sustainable** – by integrating sustainable systems into new buildings and the surrounding landscape design to improve environmental performance and minimise energy consumption.
- (e) **Amenable** – by providing natural light and ventilation to habitable spaces.

In particular reference to North Terrace, the desired character states that it will be reinforced as an important pedestrian promenade and cultural boulevard that provides an important northern edge to the City square mile. It follows on, stating that development fronting North Terrace, King William Street, Wakefield Street, Grote Street, the Squares, and in the Main Street Policy Area, will reflect their importance through highly contextual design that reflects and responds to their setting and role.

Minor streets and laneways will have a sense of enclosure (a tall street wall compared to street width) and an intimate, welcoming and comfortable pedestrian environment with buildings sited and composed in a way that responds to the building's context.

Listing Gray Street as an example, it states that development in minor streets and laneways with a high value character will respond to important character elements and provide a comfortable pedestrian environment.

The desired character seeks a range of land uses and the proposed uses are appropriate as they are listed as envisaged development types in Zone PDC 1.

The desired character seeks high scale development, however this is tempered by the need for development to also respond to its surroundings, recognising and carefully considering adjacent built form, and positively contributing to the character of the immediate area.



The desired character recognises that contemporary juxtapositions provide new settings for heritage places. It also anticipates innovative design in areas of identified street character with an emphasis on contemporary architecture responding to site context and broader streetscape, while supporting optimal site development. The addition of height, bulk and massing of new form should be given due consideration in the wider context of the proposed development.

The subject development provides us with a definitive example of the tension that can be evident between achieving a higher, more intense scale of development on a site located adjacent a cohesive row of heritage listed, low scale cottages. The aim to create uplift in the most intensively developed zone in the City also has to grapple with ensuring that any development provides an adequately contextual response. It is noted that the setting of these cottages is potentially already compromised by the development that has occurred around them, including the subject site.

The planning report submitted in support of the proposal states:

*“...the surrounding lands have been developed in a generally intensive way. This setting results in the primary views being somewhat limited to oblique views down Gray Street in an otherwise busy and mixed streetscape, close views within the immediate locality and partial views from North Terrace.*

*In essence the proposed development does not unduly impact upon such views and vistas and whilst it introduces additional built form into the background of the view from the south, the proposed height and scale, which respects the general intent of the Development Plan’s building height provisions, would not be overbearing and would not unnecessarily impact on their setting or overall appreciation.*

*In these circumstances it is our considered professional opinion that any likely impacts are not expected to unacceptably compromise the historic value of these places or diminish their contribution to the character of the locality.”*

The Administration has worked with the applicant to ensure the proposal, particularly those elements that directly interface with the row cottages (southern and eastern elevations), are designed in such a manner that they will provide an adequate contextual response. Further commentary on the architectural merits of the proposal are included below.

## **Design and Appearance**

### Height

#### *Planning Policy at the time of original construction*

At the time of the assessment of the original building, the subject site was located in the F2 North Terrace West Precinct. The Desired Character stated that *“Development along the North Terrace frontage should continue the ‘City Wall’ character of the adjacent North Terrace Precinct, but at a reduced scale.”* The **maximum building height was 24.5 metres or seven storeys**, with a desired minimum height of two storeys to North Terrace. With regard to Gray Street, the desired character stated that *“Infill development in Gray Street should retain the scale, set-back and profile of the existing row housing. Sympathetic two-storey additions are appropriate.”*

It appears this policy informed the requirement to create a two-storey interface for the subject site with the cottages in Gray Street. It is evident from the planning report that the heritage advisors at the time believed a ‘stepping down’ to two storeys next to the dwellings was required to respect and complement the built form of the cottages. The heritage advisor’s recommendation also stated that a setback behind the front wall

alignment of the cottages be incorporated to ensure visibility of the cottages was maintained.

### *Current Policy*

The current policy allows for a **maximum building height of 43 metres** in this portion of the Capital City Zone. Zone PDC 22 also seeks development to have optimal height and floor space yields to take advantage of the premium City location. This is achieved by ensuring a building height of no less than half the maximum height which, in this case, is 21.5 metres. There is no stipulated height for Gray Street although it is noted that Zone PDC 22 states heights lower than the minimum may apply in the zone if a site is adjacent to a heritage place or includes a heritage place.

This application proposes a total building height of 28.84 metres thereby meeting the maximum and minimum building heights. It seems that between 1999 and today, a greater development intensity is sought, evident in an increase in the maximum and minimum building heights. Adjacency to the heritage places will be covered under 'Heritage Adjacency' below.

### Composition, Proportion and Materiality

The proposal incorporates an additional three levels to the existing portion fronting North Terrace and an additional five levels to the portion at the rear (south) of the allotment. The same architect that designed the original building has been commissioned to undertake design of the proposed additions.

The portion of the proposed addition sited over the taller section of the building appears as a floating element through the use of an inset break in the bulk between the old and the new built form. This component utilises a bold framing portal incorporating both vertical and horizontal elements within. The sloping roof rises from the south and extends out over two angled balconies, providing sun protection to the north facing glazing. On the Gray Street elevation of this portion, the proportions and rhythm of window openings and vertical fin elements mirror those of the existing building.

The addition proposed to be located over the existing two storey portion in Gray Street uses a slightly different language in that it creates a distinct break from the existing building and utilises fine, vertically orientated fins and balconies on the eastern façade and a blend of cladding and aluminium louvres to the southern façade.

Council's Architect has been included in discussions the Administration has held with the applicant to address the contextual balance. Comments from Council's Architect on the final design were provided as below:

*"The Giordano Architects proposal for 21-24 North Terrace will add multiple levels to an already multi-storey building. The primary elevation to North Terrace seeks to maintain the design narrative of the existing building – utilising the same wall colour, glazing and framing. The proposed additional upper levels incorporate a 'dynamic' form which is somewhat in line with the more recent new buildings in the medical precinct at this end of North Terrace.*

*The secondary elevation on Gray Street sees this design language wrap around the corner, yet the height and bulk of the Giordano Architects proposal sits abruptly against the single storey cottages that are immediately adjacent on Gray Street. This is unavoidable given the development provisions, however it requires a considered design approach at the intersection between the two very different forms. The existing entrance to the basement carpark is set back from the remainder of the Gray Street building façade, and with the proposed additional levels on top of this element of the existing building, it provides an*

*opportunity for a deliberate architectural treatment that can serve as a break between the single level cottages and the proposed 7 level building.*

*Giordano Architect's treatment of this portion of the proposal in a dark 'basalt' colour works with the existing substantial setback in plan of the car park roller door and wall face. This negative break, combined with the change of colour, will give relief between the sheer mass of 21-24 North Terrace and the existing single storey dwellings. Further, the introduction of vertical blade elements picks up on the vertical verandah posts and party walls that project beyond the roof form of the cottages. This vertical detailing could only be further enhanced by a change of fencing to the cottages (to a vertical picket style), however this is obviously outside the scope of Giordano's engagement. In addition, the Architects have aligned the front face of the vertical blade elements with the existing roof fascia of the cottages. This deliberate alignment, and overall treatment of this portion of the proposal, assists in the success of this intersection between two contrasting architectural forms."*

### **Heritage adjacency**

As previously stated, the subject site is adjacent a row of cottages in Gray Street which are listed as Local Heritage places. The proposal to construct additional levels on the existing two storey element of the existing building embodies the tensions between the desire to provide an appropriate response to site context and broader streetscape, while supporting optimal site development.

In regard to heritage adjacency, CWPDC 140 states that development on land adjacent to a heritage place in non-residential Zones or Policy Areas should incorporate design elements, including where it comprises an innovative contemporary design, that:

- (a) utilise materials, finishes, and other built form qualities that complement the adjacent heritage place; and
- (b) is located no closer to the primary street frontage than the adjacent heritage place.

As previously stated, the existing built form adjacent the heritage listed cottages sits behind their main wall. The Administration has worked with the applicant to ensure that the materials and finishes of the proposal (particularly the element to the south) adequately address the heritage value of the heritage place, taking cues from design elements incorporated.

Council's Heritage Architect has also been involved in negotiations with the architects to try and resolve the interface issues satisfactorily. Their comments on the final design are as below:

*The proposed development comprises an additional three levels to the four storey Fairmont Group building on the corner of North Terrace and Gray Street, and five additional levels to the existing two-storey building addressing Gray Street. My comments are in relation to the heritage impact of the proposed development on the adjacent single storey row cottages at 11 - 19 Gray Street. I have reviewed the Plans and Details and the heritage report by Flightpath Architects dated 12 June 2019.*

*The cottages together with the row cottages at 20-30 Gray Street on the eastern side are listed as local heritage places (City Significance) in the Development Plan. This part of Gray Street is one of the few remaining pockets of modest housing which once characterised the area. The cottages were constructed in 1910, replacing sub-standard tenement housing. Although modestly scaled, the cottages are highly articulated with verandahs, gables, tall corbelled chimneys*

*and projecting dividing walls. After the Second World War, housing stock in this north-western corner of the city was replaced by light industrial development. The next wave of development was multi-storey commercial development. The multi-storey buildings which now form a backdrop to the cottages have irreparably altered the setting of the local heritage place.*

*The four storey high rear wall of the existing Fairmont Group building on North Terrace is approximately 6.5m from the side wall of 11 Gray Street and forms a dominant backdrop to the row cottages when looking northwards. The adjoining two storey building on Gray Street which is set back behind the front walls of the cottages has less visual impact.*

*The City of Adelaide Development Plan provisions for heritage include the objective:*

*Development that retains the heritage value and setting of a heritage place and its built form contribution to the locality.*

*The proposed seven storey element of the development on the corner of North Terrace and Gray Street is not considered to have a significant impact on the local heritage place given the existing multi-storey developments along North Terrace and Newmarket Street.*

*The additional storeys to the two-storey building are not considered to substantially alter the setting of the local heritage place. The existing two storey building which is bland and two dimensional with tilt-up concrete walls punctuated by a roller door and two pairs of windows on the front facade will remain unchanged.*

*The Gray Street and southern facades of the extension to the two storey building now feature vertical aluminium blades to reference the vertical elements in the cottages, in particular the verandah posts and the masonry dividing walls between the cottages. On the southern elevation the screens are bookended by painted fibre cement cladding with expressed joints. The Gray Street facade is clad with aluminium blades between fibre cement clad columns. Balconies are now provided on each level and the vertical fins and columns are continuous.*

*The cladding system is considered an improvement on the previous façade design, however the strong verticality without any horizontal articulation, in my opinion emphasises the disparity in the scale between the proposed development and the row cottages. A previous design featured a wraparound balcony on Level 5 which assisted in breaking up the scale of the building in relation to the adjacent cottages.*

*The proposed dark grey colour for the cladding and screens is more visually recessive than the previously proposed white palette and is considered acceptable.*

There is some divide in opinion between Council's Heritage Architect and Council Architect, with regard to the inclusion of a break in the rear portion of the built form, adjacent the cottages. In summary however, the Heritage Architect considers the amended proposal has come some way in addressing adjacency and contextual issues.

## **Environmental and Amenity**

### **Subject site**

The proposal provides the following environmental measures within the building:

- PV panels to roof and associated battery storage in basement

- Overhangs providing shading to northern façade
- Thermal insulation provided via solid concrete walls
- Energy efficient glazing to all new windows
- Access to natural light via each elevation
- Maintaining, refurbishing and improving the existing building
- Upgraded wet areas with water efficient taps and fittings
- Upgraded lighting using LED type fittings and timers
- Harvesting and storage of stormwater for re-use for toilet flushing in building

The proposal is considered to achieve an adequate level of energy efficient and sustainable measures in accordance with CWPDC 106, 107, 108, 110, 115 and 128.

### Adjoining properties

Overshadowing diagrams provided by the applicant as well as those modelled by the Administration indicate that the shadowing to the adjacent residential cottages to the south is already quite pronounced and will increase with the additional height of the subject development.

Unfortunately, there is little protection afforded buildings within the Capital City Zone, noting CWPDC 121 discourages the reduction of daylight for habitable rooms if located adjacent City Living Zone, Adelaide Historic (Conservation) Zone and North Adelaide Historic (Conservation) Zone only.

CWPDC 125 seeks development over 21 metres in height to be built at or on the street frontage to minimise wind tunnel effect. Whilst the existing building does not have a canopy, the building incorporates setbacks and a level of articulation that is likely to assist in reducing wind tunnel effect and is acceptable in this instance.

There is also translucent glazing and fixed louvres proposed to the southern elevation to protect the privacy of the adjacent dwellings.

### **Traffic and Movement**

The existing building provides a total of 25 car parks within the basement of the building, accessible via an existing entry from Gray Street. Given additional structural bracing is required throughout the building to support the additional levels, this compromises the existing basement car parking layout. Council's traffic team also stipulated that with the alterations to the existing car park, the car parking layout should be reviewed to ensure it meets current-day standards.

The applicant engaged a traffic consultant to review the parking as proposed. This has resulted in the car park numbers being reduced to 11 spaces. Given the site is in the Capital City Zone where there is no requirement to provide on-site parking provisions, the proposal is acceptable. Bringing the existing car park provision into compliance with current requirements is viewed favourably. Council's traffic team have no objections to the proposal as currently indicated.

No bicycle parking is currently provided. This has not changed with the proposal although it is noted that now the car park has been reconfigured, there is an increase in pockets of unoccupied spaces that could be used for parking bicycles if required. The site is well located, given proximity of public transport in the form of buses, trams and trains.

#### 9.4 **Conclusion**

This application proposes alterations and additions to the existing four storey office building located on the corner of North Terrace and Gray Street, incorporating the construction of an additional three levels to the taller portion fronting North Terrace and an additional five levels to the existing two-storey portion located to the rear (south) of the allotment. Additional structural bracing throughout the building is also required.

The subject site is in the Capital City Zone where the maximum building height is 43 metres and the minimum building height is 21.5 metres. It is also adjacent a row of Local Heritage listed cottages in Gray Street. The applicant has been working with the planning staff, Heritage Architect and Council Architect to design and present a proposal that achieves an appropriate response to both contexts.

It is acknowledged there will be a significant change in scale between the existing local heritage places in Gray Street and the proposed seven level building. This has been the most challenging part of the assessment of the proposal and has resulted in the recommendation being finely balanced. In summary however, this component of the development is considered acceptable as:

- the policy between the time of the original construction and now has removed the requirement to scale down to two storeys in Gray Street;
- the policy has also increased the maximum building height from 24.5 metres to 43 metres and requires a minimum building height of 21.5 metres;
- the Capital City Zone more generally seeks greater intensity and uplift throughout the zone;
- heritage advice deems the juxtaposition between the scales to be acceptable.

Whilst the proposal will impact upon the amount of shadowing to the adjacent residential properties there is little in the way of protection forwarded adjacent properties in the Capital City Zone unless the site is adjacent the City Living Zone, Adelaide Historic (Conservation) Zone and North Adelaide Historic (Conservation) Zone. Privacy is maintained using translucent glazing and louvres orientating views away from the dwellings.

The proposal is not considered to be seriously at variance with the provisions of the Development Plan because it proposes a land use and form of development that is generally sought after in the Zone and Policy Area.

It has been determined that, on balance, the proposal warrants Development Plan Consent.

## 10. RECOMMENDATION

That the development, the subject of the application from Giordano & Associates for alterations and additions to existing building including three additional levels to North Terrace and five additional levels to Gray Street at 21-24 North Terrace, Adelaide SA 5000 as shown on plans designated DA/345/2019:

1. Is not seriously at variance with the provisions of the Development Plan and
2. Be GRANTED Development Plan Consent, subject to the following conditions and advices:

### Conditions

1. **The Development shall be undertaken in accordance with the plans, drawings, specifications and other documents submitted to the Council that are relevant to the consent as listed below:**

- **Plans drafted by Giordano Architecture, drawing nos. A19/01/P1.0B to P1.14B inclusive**

**to the reasonable satisfaction of the Council except where varied by conditions below (if any).**

*Reason: To ensure that the Development is undertaken in accordance with the plans and details submitted.*

---

2. **Prior to the granting of development approval to the Development the applicant or the person(s) having the benefit of the consent shall submit to the Council samples of the final selection of all external materials, surface finishes and colours of the Development so as to ensure that such samples are consistent with the consent. Such samples shall be to the reasonable satisfaction of the Council.**

*Reason: To ensure a high standard of materials and finishes are used in the finished presentation of the building.*

---

3. **The windows of the southern elevation shall be windows which are permanently fixed and translucent to a minimum height of 1600mm above the finished floor level of each floor. Such windows shall be installed prior to the occupation or use of the Development and thereafter shall be maintained to the reasonable satisfaction of the Council.**

*Reason: To ensure that the Development does not unreasonably diminish the privacy of residents in adjoining properties.*

---

4. **The connection of any storm water discharge from the Land to any part of the Council's underground drainage system shall be undertaken in accordance with the Council Policy entitled 'Adelaide City Council Storm Water Requirements' which is attached to this consent to the reasonable satisfaction of the Council.**

*Reason: To ensure that adequate provision is made for the collection and dispersal of stormwater.*

---

## **Advices**

### **1. Building Consent for Approval**

Development Approval will not be granted until Building Rules Consent has been obtained. A separate application must be submitted for such consent. No building work or change of classification is permitted until the Development Approval has been obtained.

---

### **2. Expiration Time of Approval**

Pursuant to the provisions of Regulation 48 under the Development Act 1993, this consent will lapse at the expiration of 12 months from the operative date of the consent unless the relevant development has been lawfully commenced by substantial work on the site of the development within 12 months, in which case the approval will lapse within 3 years from the operative date of the approval subject to the proviso that if the development has been substantially or fully completed within those 3 years, the approval will not lapse.

---

### **3. Boundaries**

It is recommended that as the applicant is undertaking work on or near the boundary, the applicant should ensure that the boundaries are clearly defined, by a Licensed Surveyor, prior to the commencement of any building work.

---

### **4. Public Utilities**

The applicant must ensure there is no objection from any of the public utilities in respect of underground or overhead services and any alterations that may be required are to be at the applicant's expense.

In addition you are advised that the installation of an SA Power Networks transformer within the building may require the submission of a variation application. Furthermore, any proposal to install electricity infrastructure including a transformer or switching cubicle within the public realm will require the consent of Council and may not be forthcoming.

---

### **5. Building Site Management Plan**

A Building Site Management Plan is required prior to construction work beginning on site. The Building Site Management Plan should include details of such items as:

- Work in the Public Realm
  - Street Occupation
  - Hoarding
  - Site Amenities
  - Traffic Requirements
  - Servicing Site
  - Adjoining Buildings
  - Reinstatement of Infrastructure
-



## 6. Site Theft

Unsecured building sites have been identified as a soft target for vandalism and theft of general building materials. The Adelaide Local Service Area Police and the Adelaide City Council are working together to help improve security at building sites. Items most commonly stolen or damaged are tools, water heaters and white goods. To minimise the risk of theft and damage, consider co-ordinating the delivery and installation of the goods on the same day. Work with your builder to secure the site with a fence and lockable gate. Securing the site is essential to prevent unauthorised vehicle access and establishes clear ownership. If you have any further enquiries about ways to reduce building site theft, please do not hesitate to contact the Adelaide Local Service Area Community Programs Section on 8463 7024. Alternatively, you can contact Adelaide City Council for further assistance and information by calling Nick Nash on 8203 7562.

## 7. City Works Permit

Any activity in the public realm, whether it be on the road or footpath, requires a City Works Permit. 48 hours' notice is required before commencement of any activity.

The City Works Guidelines detailing the requirements for various activities, a complete list of fees and charges and an application form can all be found on Council's website at [www.cityofadelaide.com.au](http://www.cityofadelaide.com.au)

When applying for a City Works Permit you will be required to supply the following information with the completed application form:

- A Traffic Management Plan (a map which details the location of the works, street, property line, hoarding/mesh, lighting, pedestrian signs, spotters, distances etc.);
- Description of equipment to be used;
- A copy of your Public Liability Insurance Certificate (minimum cover of \$20 Million required);
- Copies of consultation with any affected stakeholders including businesses or residents.

**Please note:** Upfront payment is required for all city works applications.

Applications can be lodged via the following:

Email: [cityworks@cityofadelaide.com.au](mailto:cityworks@cityofadelaide.com.au)

Fax: 8203 7674

In Person: 25 Pirie Street, Adelaide

**Item No. 3.1 – Attachments 1 – 47 (21-24 North Terrace, Adelaide SA 5000)**

Pages 27 to 73

**ATTACHMENTS**

Plans and Supporting Information

- Plans 1 – 15
- Design Statement 16
- Planning report 17 – 20
- Heritage Report 21 – 34
- Traffic Statement 35 – 44
- Certificate of Title 45 – 47

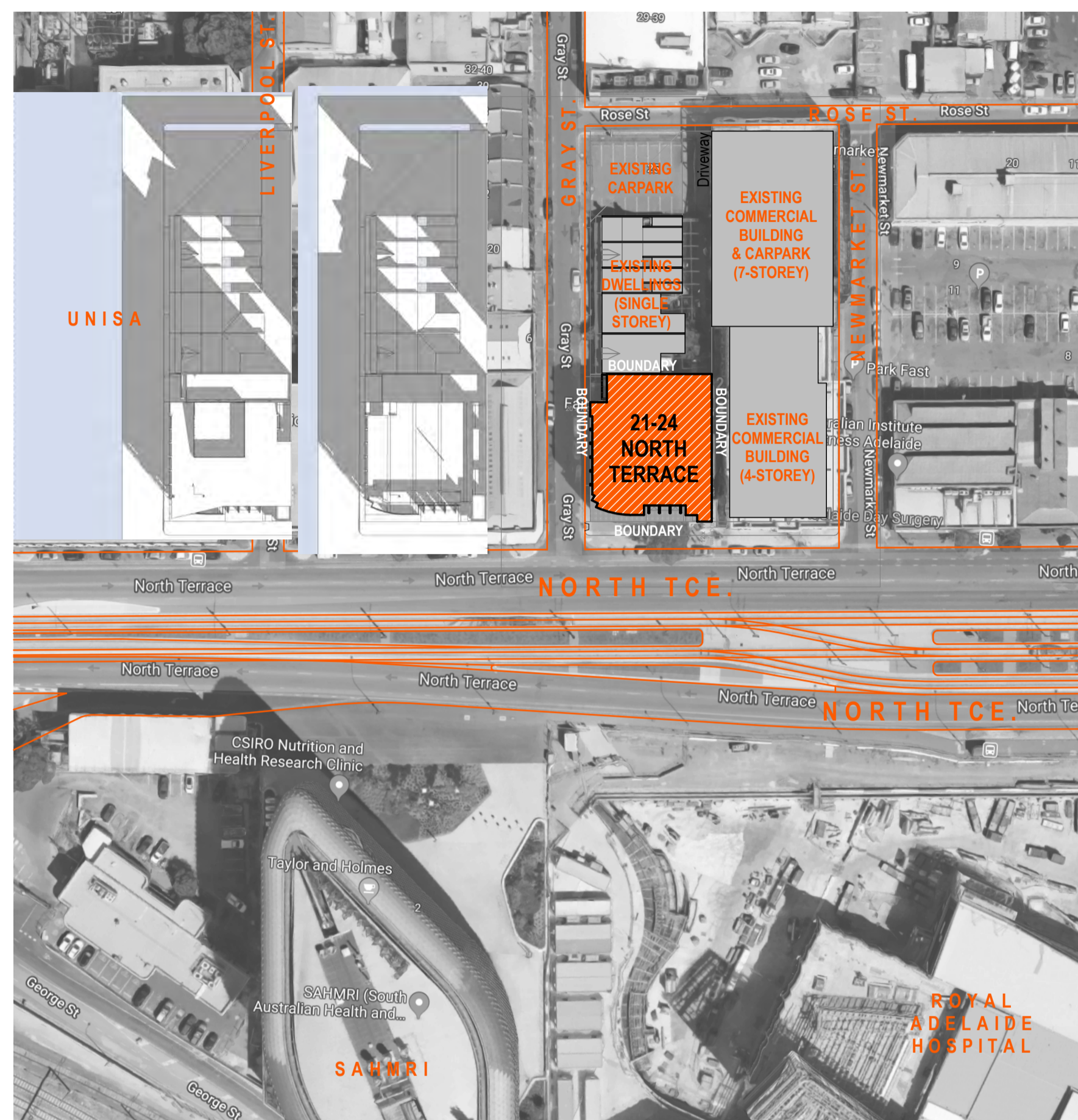
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# PROPOSED ALTERATIONS & ADDITIONS

## 21-24 NORTH TERRACE, ADELAIDE 5000



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LOCATION PLAN 1:1000



### Drawing Layout Index

Dwg. No:	Layout Name	Rev	Date
P1.0	LOCATION PLAN	B	28/8/2019
P1.1	PLANS: CARPARK & GROUND FLOORS	B	28/8/2019
P1.2	PLANS: 1ST & 2ND FLOORS	B	28/8/2019
P1.3	PLANS: 3RD & 4TH FLOORS	B	28/8/2019
P1.4	PLANS: 5TH & 6TH FLOORS	B	28/8/2019
P1.5	NORTH ELEVATION	B	28/8/2019
P1.6	SOUTH ELEVATION	B	28/8/2019
P1.7	EAST ELEVATION	B	28/8/2019
P1.8	WEST ELEVATION	B	28/8/2019
P1.9	SECTION X-X	B	28/8/2019
P1.10	SHADOW DIAGRAMS	B	28/8/2019
P1.11	3D PERSPECTIVES	B	28/8/2019
P1.12	MATERIALS SELECTION 1	B	28/8/2019
P1.13	MATERIALS SELECTION 2	B	28/8/2019
P1.14	EXISTING CARPARK LAYOUT	B	28/8/2019

**CITY OF ADELAIDE**  
**ADDITIONAL DOCUMENTS RECEIVED**  
  
**DA/345/2019**  
**28/08/2019**

DRAWN: **AJSG** CHECKED: \_\_\_\_\_  
 SCALE: **as shown @ A1**  
All dimensions to be verified on site and any discrepancies reported to the Architect prior to proceeding with any work.  
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 SHEET:  
**P1.0**  
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B	28/08/2019	PLANNING SUBMISSION: AMENDED
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**PROPOSED ADDITIONS & ALTERATIONS**

**21-24 NORTH TERRACE, ADELAIDE 5000**

SHEET TITLE:  
**PLANS: CARPARK & GROUND FLOORS**

DRAWN: **AJSG** CHECKED:

SCALE: **as shown @ A1**

All dimensions to be verified on site and any discrepancies reported to the Architect prior to proceeding with any work

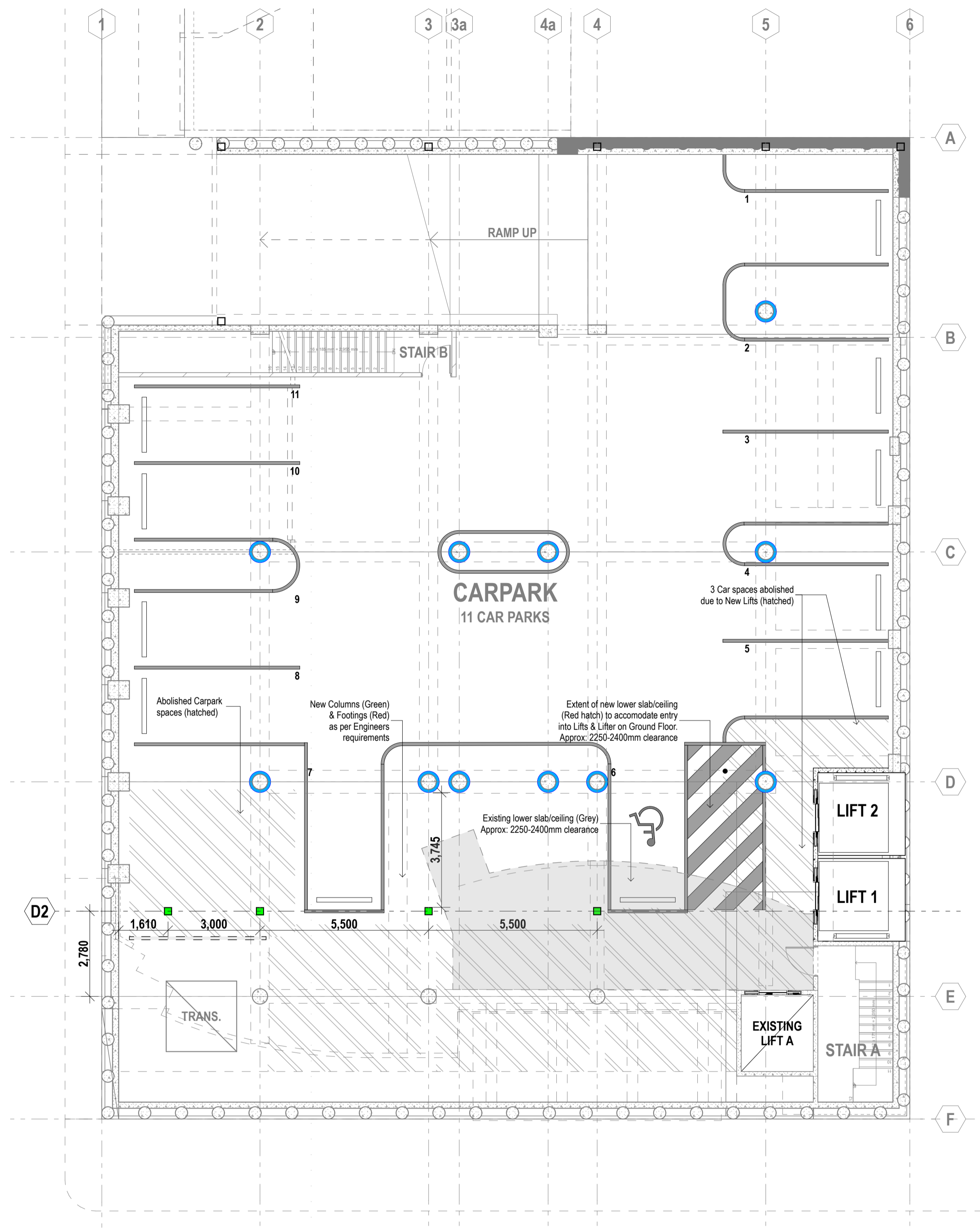
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SHEET:

**P1.1**

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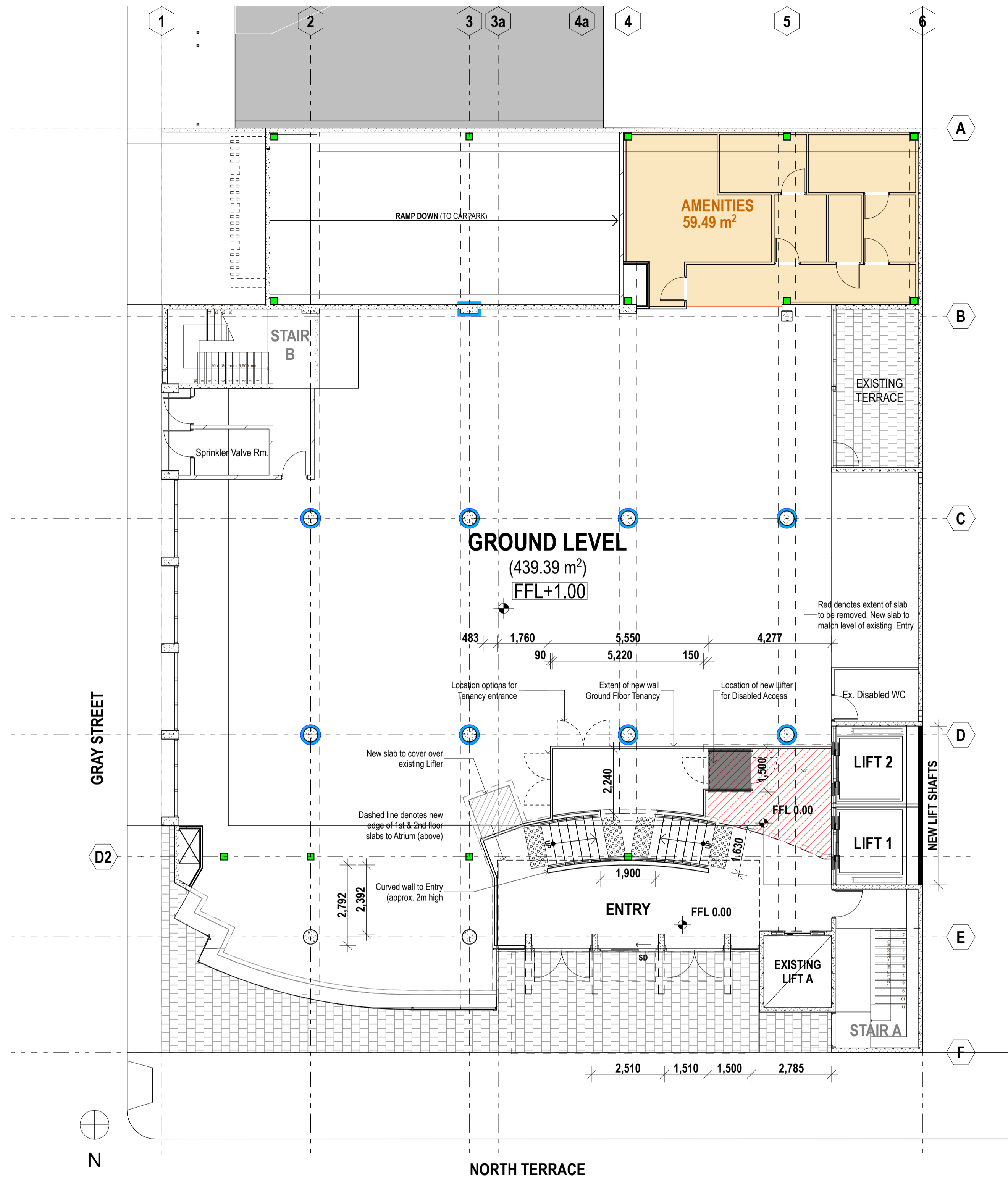


**CARPARK LEVEL 1:100**

KEY	NOTES	AREAS
	EXISTING CONCRETE COLUMN	SITE 844m <sup>2</sup>
	UPGRADED CONCRETE COLUMN	CARPARK 692m <sup>2</sup>
	NEW STEEL COLUMN	GROUND LEVEL 498m <sup>2</sup>
	EXISTING EXTERIOR WALL (Concrete Panel)	LEVEL 1 613m <sup>2</sup>
	NEW EXTERIOR WALL (Light-weight framing with Fibre Cement Sheet Cladding or Other - Refer to Materials Selections layouts)	LEVEL 2 581m <sup>2</sup>
	NEW INTERIOR WALL (Steel-Stud framed)	LEVEL 3 556m <sup>2</sup>
	PROPOSED FLOOR LEVEL	LEVEL 4 505m <sup>2</sup>
		LEVEL 5 553m <sup>2</sup>
		LEVEL 6 552m <sup>2</sup>
		<b>TOTAL 3,861m<sup>2</sup></b>

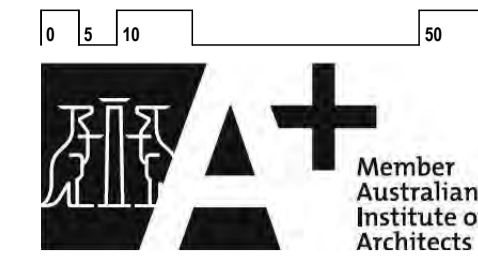
**NOTES**

- Boundaries & set-outs to be confirmed by Surveyor prior to any work commencing
- Assumed that existing Fit-out will be demolished & removed as part of upgrade
- Photo-Voltaic panels on roof with battery storage in basement for base building power and lighting
- Energy efficient glazing to all new windows with extensive overhangs shading the northern façade
- Refurbishment of entire building with:
  - New Mechanical Plant (roof) to have efficient units that use less power, more fresh air and incorporate heat exchanger
  - New & upgraded wet areas to use water efficient taps & fittings
  - New & upgraded lighting to use LED type fittings & timers
- Stormwater harvesting in basement for re-use in base building toilets where possible



**GROUND LEVEL 1:100**

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**PROPOSED ADDITIONS & ALTERATIONS**  
 21-24 NORTH TERRACE,  
 ADELAIDE 5000

SHEET TITLE:  
**PLANS: 1ST & 2ND FLOORS**

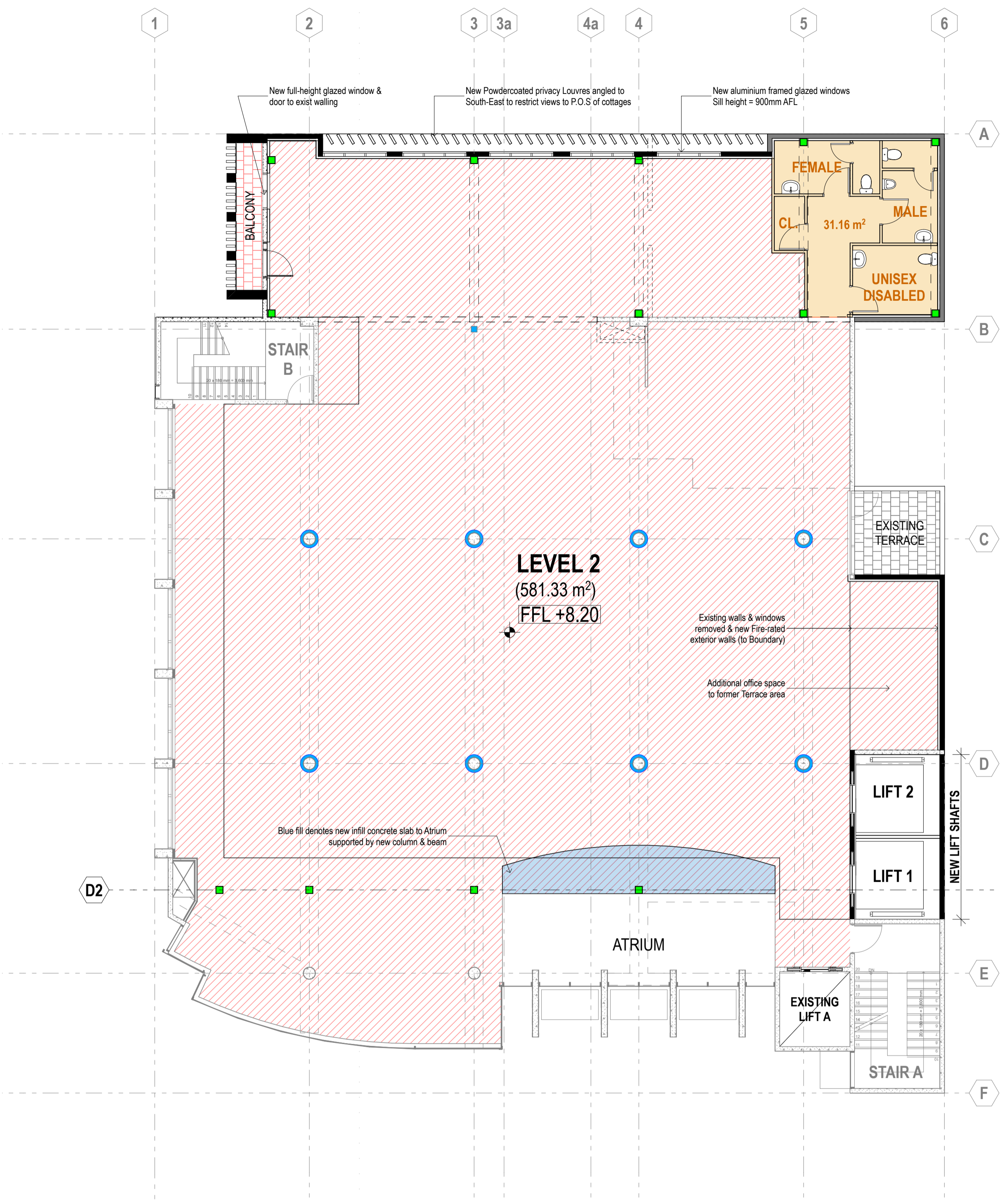
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**LEVEL 1 1:100**

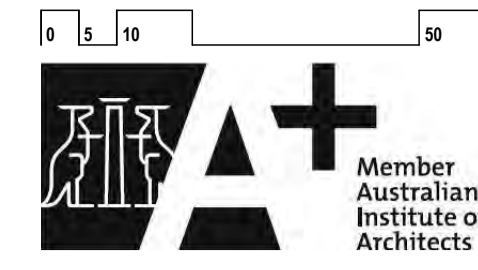


**LEVEL 2 1:100**

KEY	NOTES	AREAS
	EXISTING CONCRETE COLUMN	SITE 844m <sup>2</sup>
	UPGRADED CONCRETE COLUMN	CARPARK 692m <sup>2</sup>
	NEW STEEL COLUMN	GROUND LEVEL 498m <sup>2</sup>
	EXISTING EXTERIOR WALL (Concrete Panel)	LEVEL 1 613m <sup>2</sup>
	NEW EXTERIOR WALL (Light-weight framing with Fibre Cement Sheet Cladding or Other - Refer to Materials Selections layouts)	LEVEL 2 581m <sup>2</sup>
	NEW INTERIOR WALL (Steel-Stud framed)	LEVEL 3 556m <sup>2</sup>
	PROPOSED FLOOR LEVEL	LEVEL 4 505m <sup>2</sup>
		LEVEL 5 553m <sup>2</sup>
		LEVEL 6 552m <sup>2</sup>
		<b>TOTAL 3,861m<sup>2</sup></b>

**NOTES:**  
 Boundaries & set-outs to be confirmed by Surveyor prior to any work commencing  
 Assumed that existing Fit-out will be demolished & removed as part of upgrade  
 Photo-Voltaic panels on roof with battery storage in basement for base building power and lighting  
 Energy efficient glazing to all new windows with extensive overhangs shading the northern façade  
 Refurbishment of entire building with:  
 New Mechanical Plant (roof) to have efficient units that use less power, more fresh air and incorporate heat exchanger  
 New & upgraded wet areas to use water efficient taps & fittings  
 New & upgraded lighting to use LED type fittings & timers  
 Stormwater harvesting in basement for re-use in base building toilets where possible

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**28/08/2019**



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**PROPOSED ADDITIONS & ALTERATIONS**

21-24 NORTH TERRACE,  
 ADELAIDE 5000

SHEET TITLE:  
**PLANS: 3RD & 4TH FLOORS**

DRAWN: **AJSG** CHECKED:

SCALE: **as shown @ A1**

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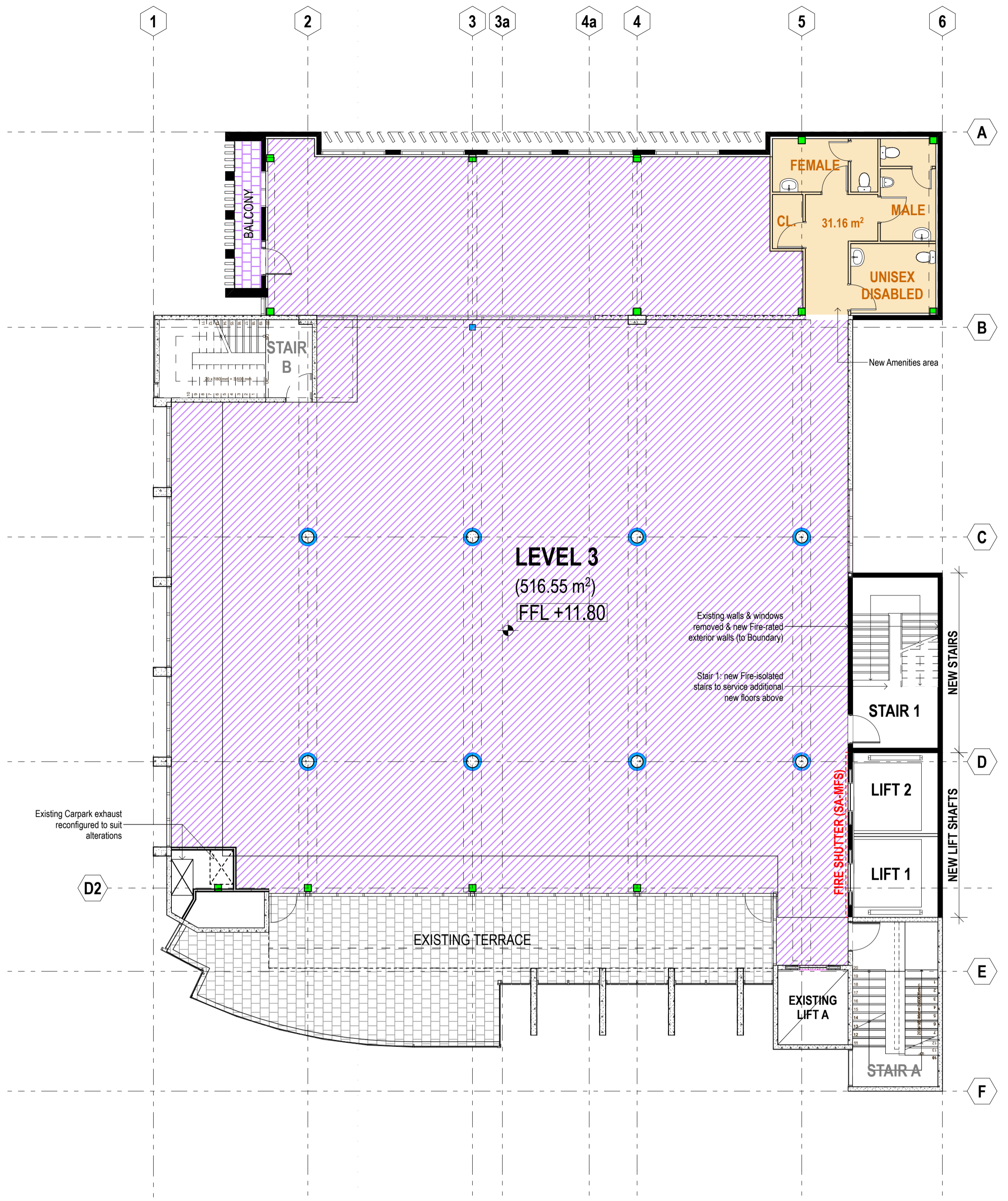
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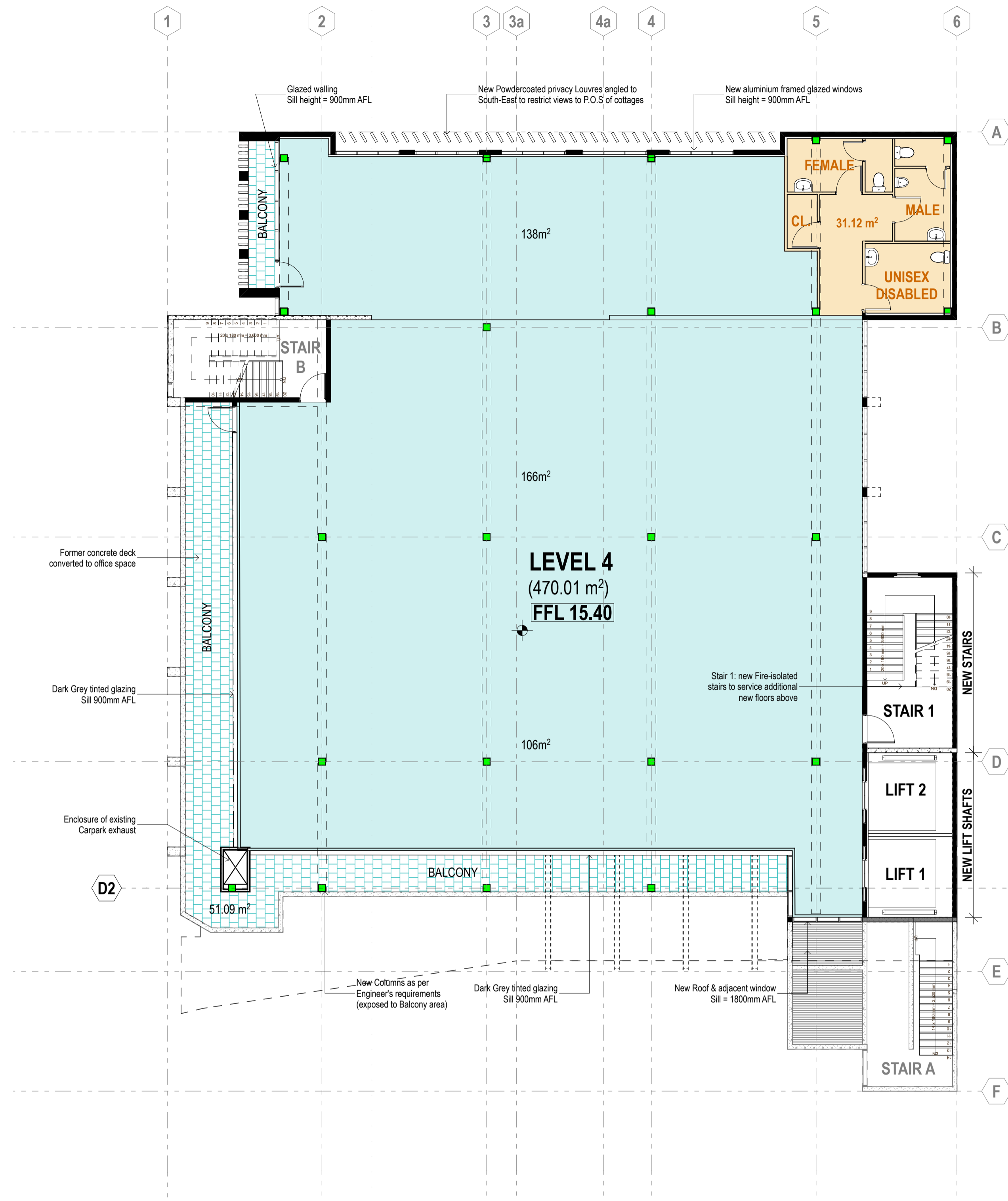
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**P1.3**

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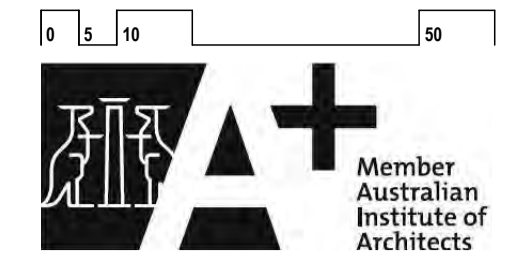
**LEVEL 3 1:100**



**LEVEL 4 1:100**

KEY	NOTES	AREAS
	Boundaries & set-outs to be confirmed by Surveyor prior to any work commencing	SITE 844m²
	Assumed that existing Fit-out will be demolished & removed as part of upgrade	CARPARK 692m²
	Photo-Voltaic panels on roof with battery storage in basement for base building power and lighting	GROUND LEVEL 498m²
	Energy efficient glazing to all new windows with extensive overhangs shading the northern façade	LEVEL 1 613m²
	Refurbishment of entire building with: New Mechanical Plant (roof) to have efficient units that use less power, more fresh air and incorporate heat exchanger	LEVEL 2 581m²
	New & upgraded wet areas to use water efficient taps & fittings	LEVEL 3 556m²
	New & upgraded lighting to use LED type fittings & timers	LEVEL 4 505m²
	Stormwater harvesting in basement for re-use in base building toilets where possible	LEVEL 5 553m²
		LEVEL 6 552m²
		<b>TOTAL 3,861m²</b>

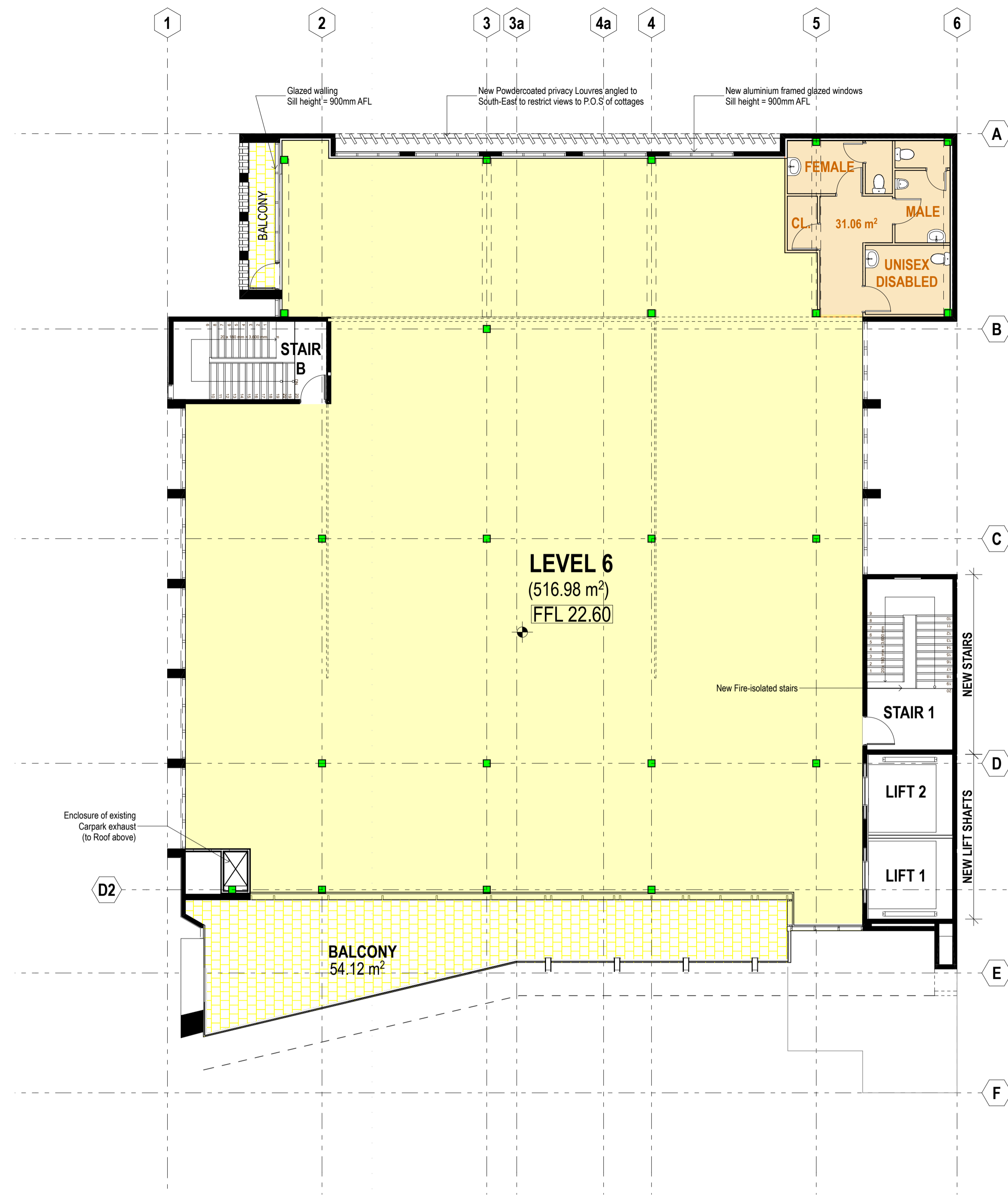




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LEVEL 5 1:100



LEVEL 6 1:100

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PROPOSED ADDITIONS & ALTERATIONS

21-24 NORTH TERRACE, ADELAIDE 5000

SHEET TITLE: PLANS: 5TH & 6TH FLOORS

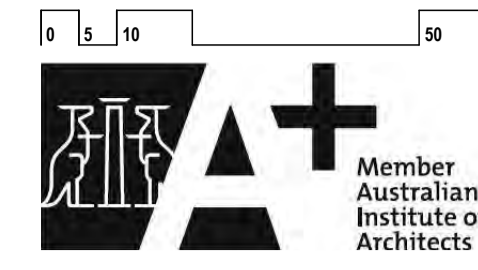
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**PROPOSED ADDITIONS & ALTERATIONS**

**21-24 NORTH TERRACE, ADELAIDE 5000**

SHEET TITLE:  
**NORTH ELEVATION**

DRAWN: **AJSG** CHECKED:

SCALE: **as shown @ A1**

All dimensions to be verified on site and any discrepancies reported to the Architect prior to proceeding with any work

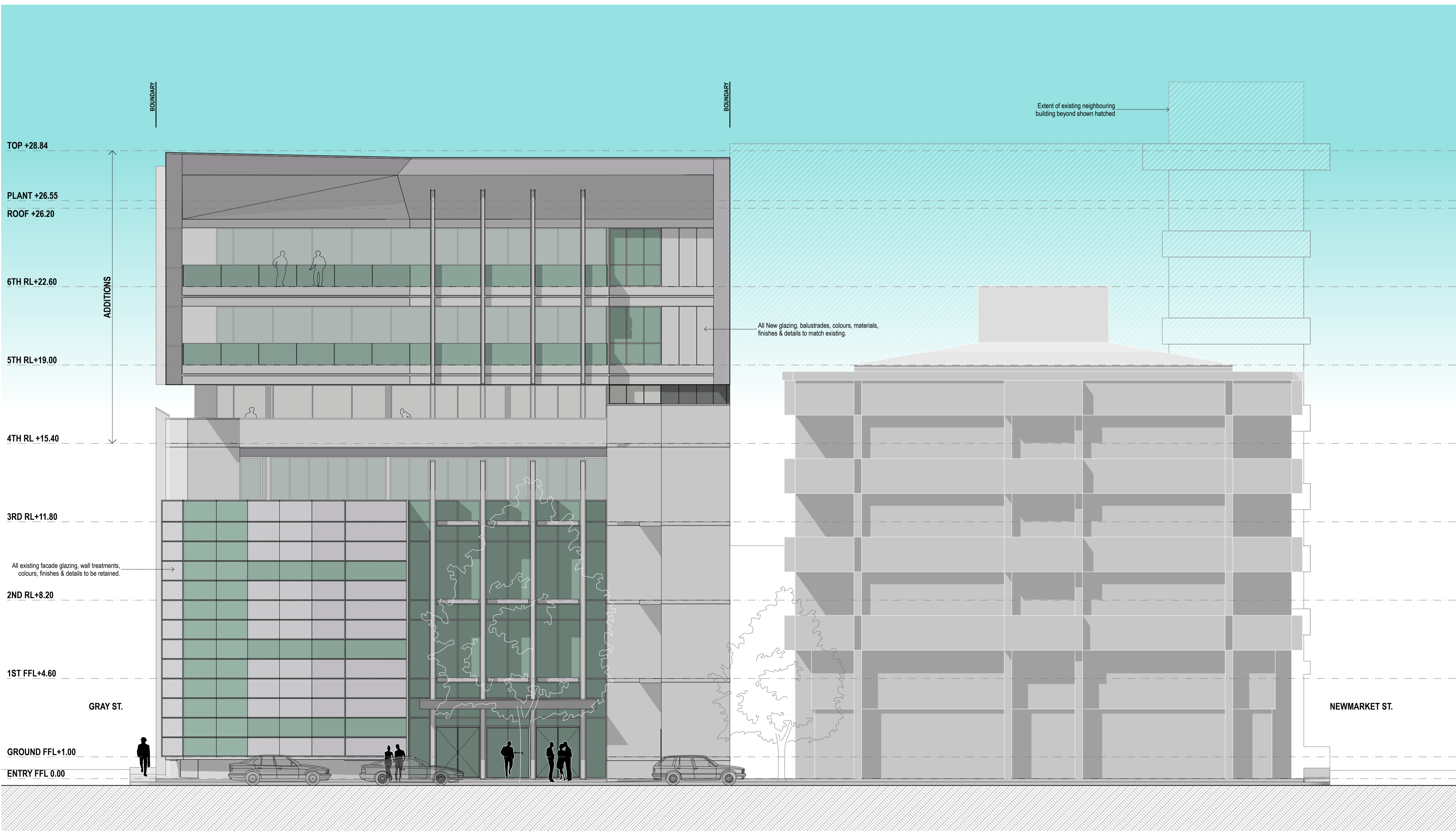
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SHEET:

**P1.5**

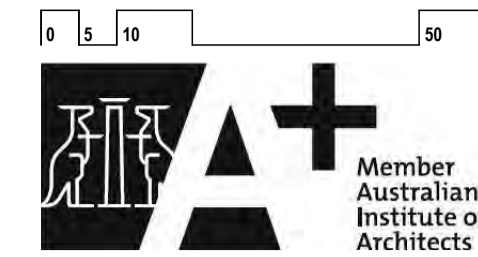
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North Elevation

1:100





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PROPOSED ADDITIONS & ALTERATIONS

21-24 NORTH TERRACE, ADELAIDE 5000

SHEET TITLE: SOUTH ELEVATION

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**DA/345/2019  
 28/08/2019**

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SCALE: as shown @ A1

All dimensions to be verified on site and any discrepancies reported to the Architect prior to proceeding with any work

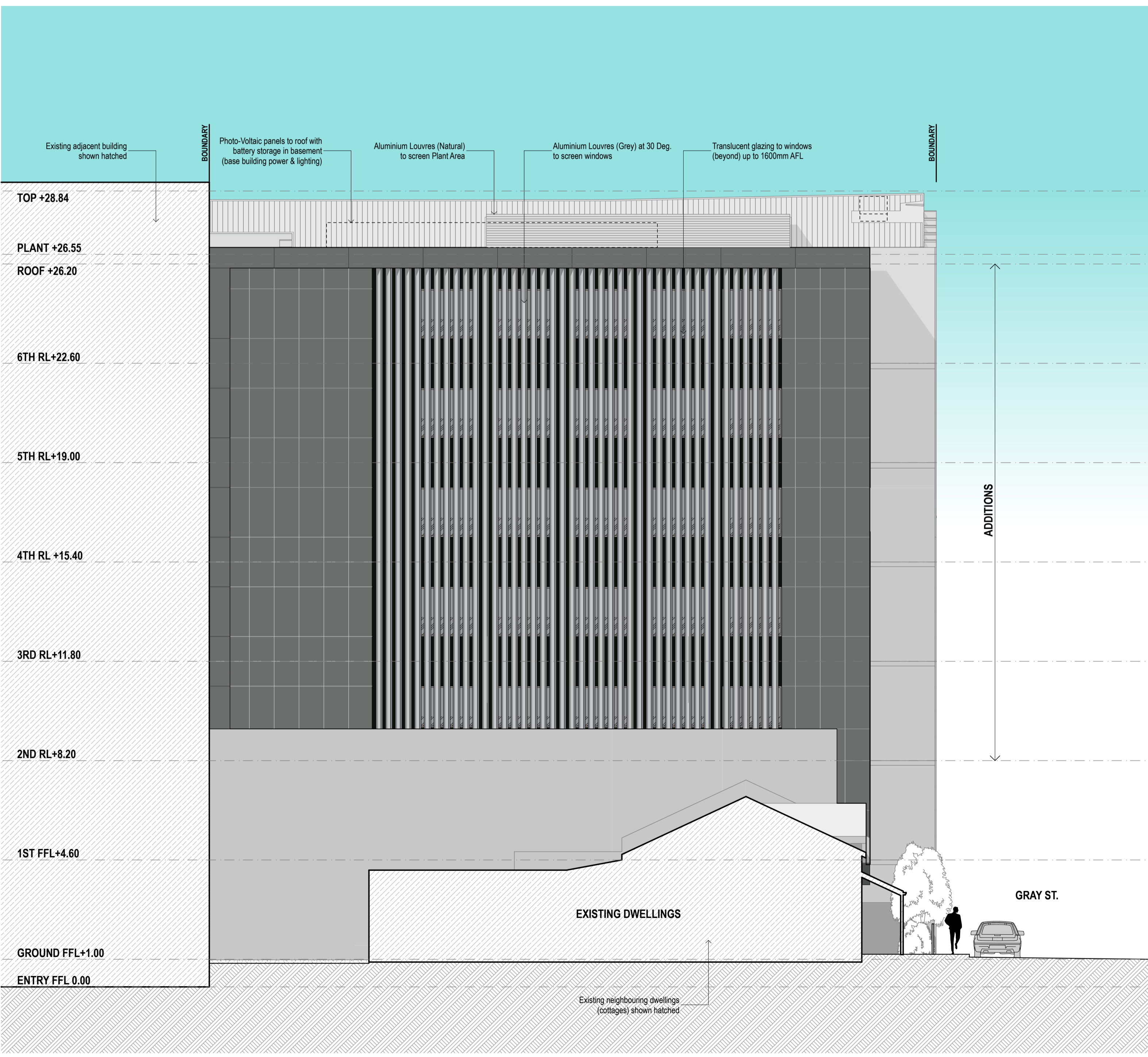
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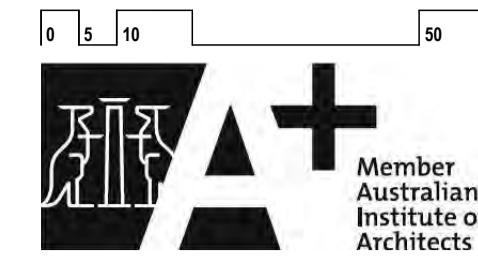
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GROUND LEVEL South Elevation 1:100

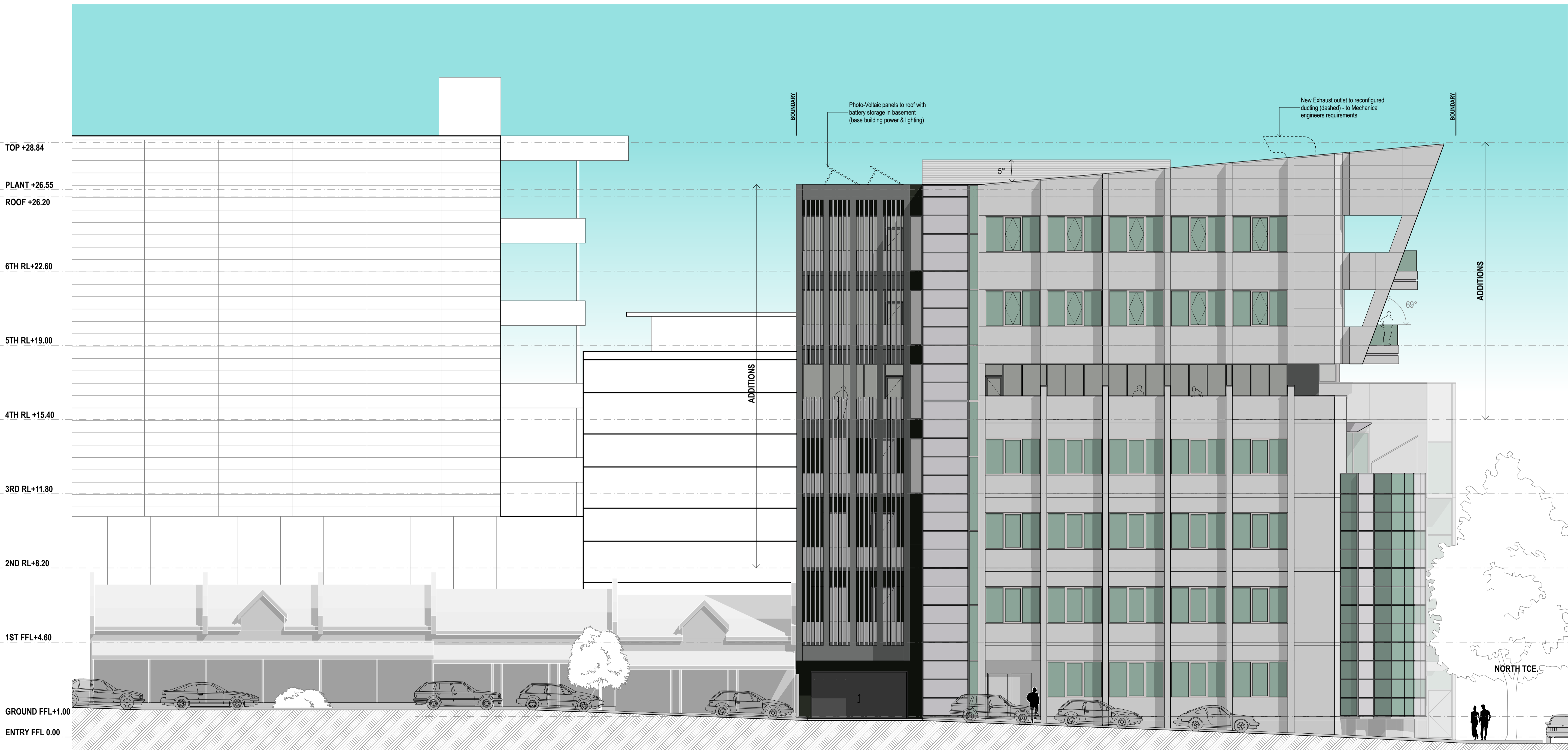


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A	15/08/2019	AMENDED PLANNING SUBMISSION
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28/08/2019**

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**PROPOSED ADDITIONS  
& ALTERATIONS**

**21-24 NORTH TERRACE,  
ADELAIDE 5000**

SHEET TITLE:  
**EAST ELEVATION**

DRAWN: **AJSG** CHECKED:

SCALE: **as shown @ A1**

DATE: **28/08/2019**

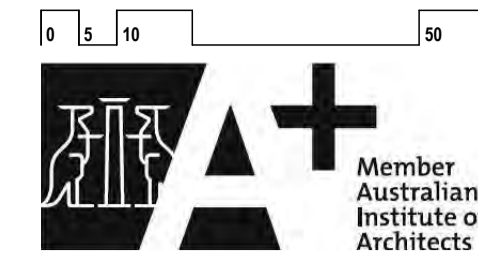
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**P1.7**

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**East Elevation** 1:100

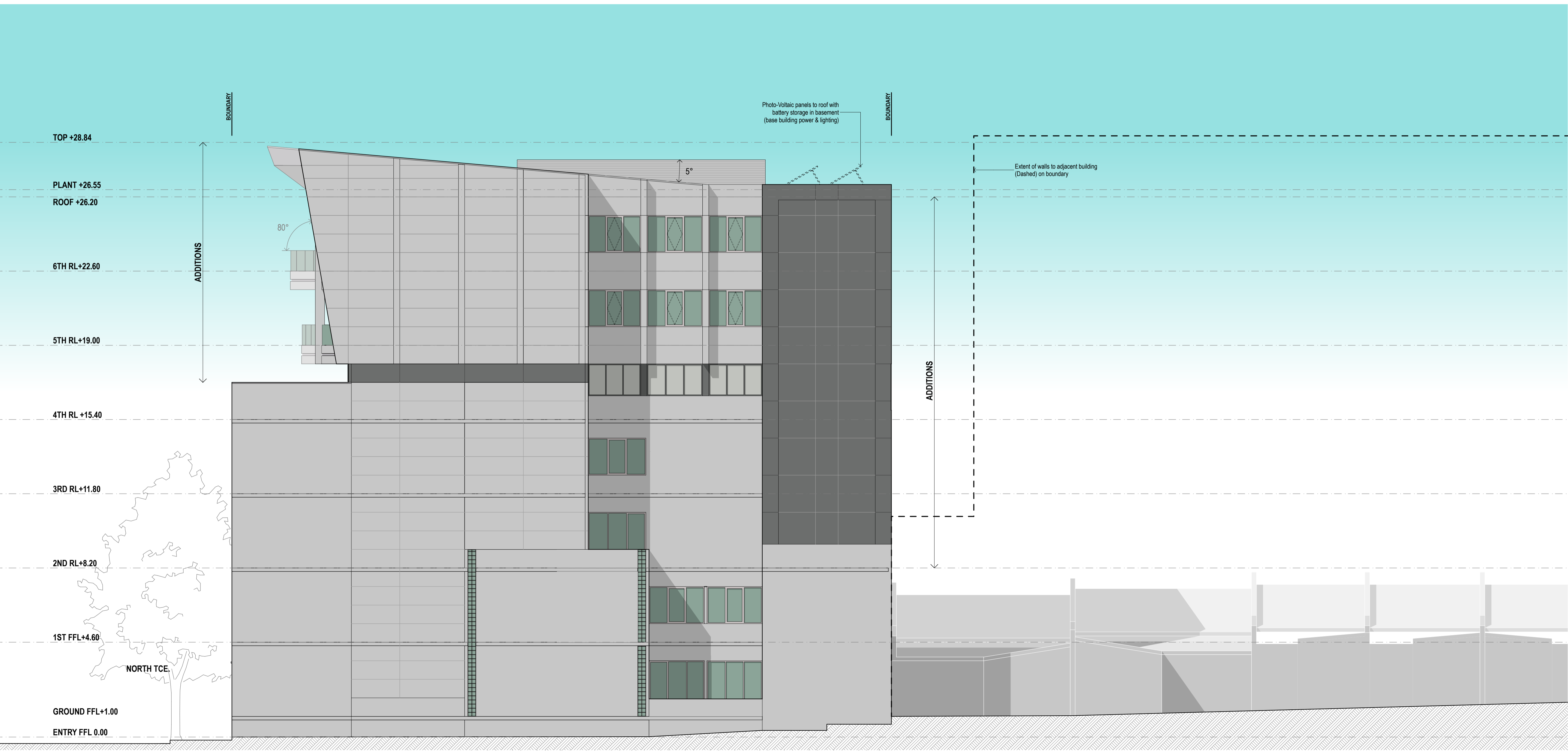


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**CITY OF ADELAIDE  
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**DA/345/2019  
28/08/2019**

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**PROPOSED ADDITIONS  
& ALTERATIONS**

**21-24 NORTH TERRACE,  
ADELAIDE 5000**

SHEET TITLE:  
**WEST ELEVATION**

DRAWN: **AJSG** CHECKED:

SCALE: **as shown @ A1**

All dimensions to be verified on site and any discrepancies reported to the Architect prior to proceeding with any work.

DATE: **28/08/2019**

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**P1.8**

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**West Elevation**

**1:100**



REV	DATE	DESCRIPTION
B	28/08/2019	PLANNING SUBMISSION: AMENDED
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-	14/05/2019	PLANNING SUBMISSION

PLANNING

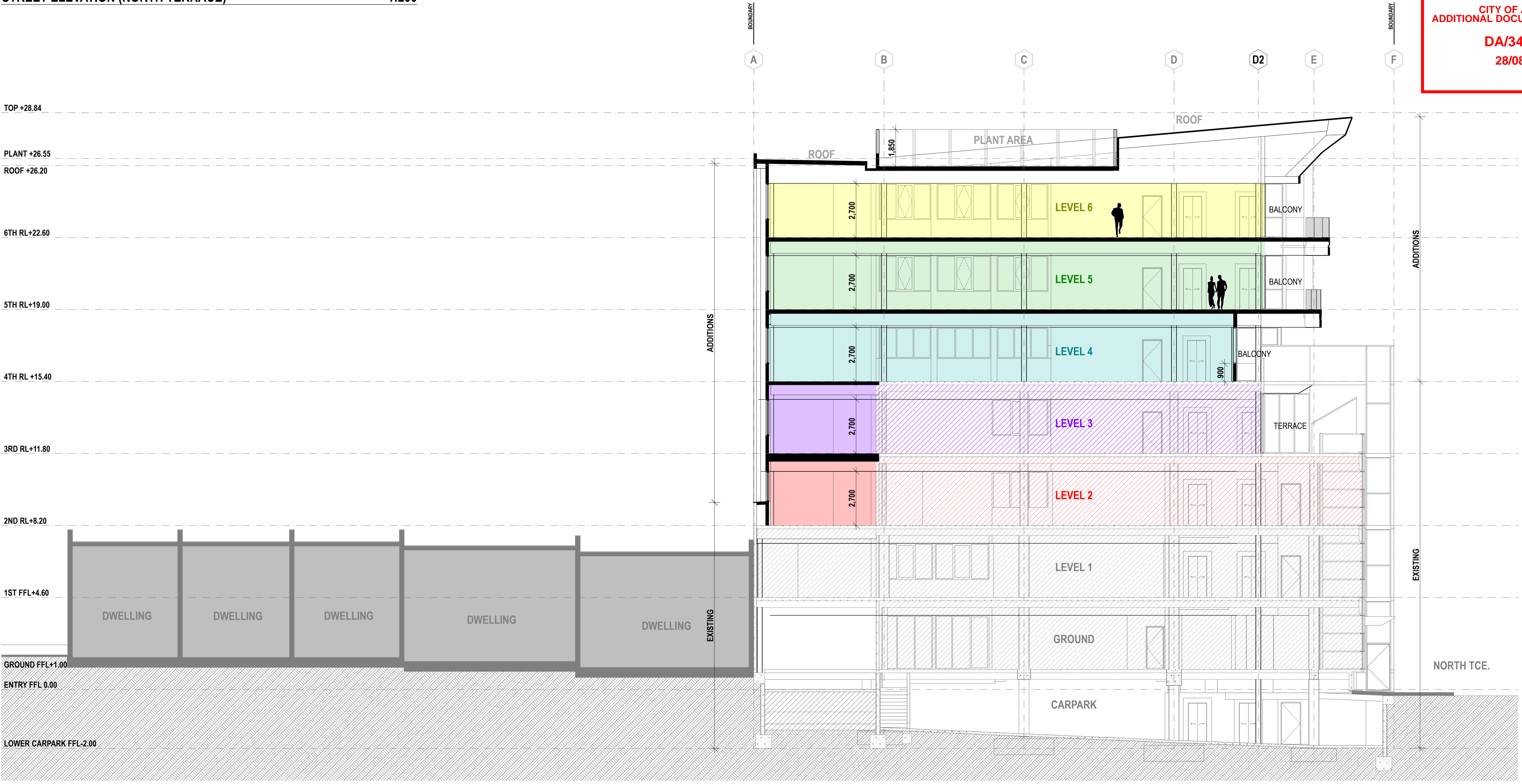


STREET ELEVATION (NORTH TERRACE) 1:200

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**28/08/2019**



SECTION X-X 1:100



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**PROPOSED ADDITIONS  
& ALTERATIONS**

**21-24 NORTH TERRACE,  
ADELAIDE 5000**

SHEET TITLE:  
**SECTION X-X**

DRAWN: **AJSG** CHECKED:  
SCALE: **as shown @ A1**

DATE: **28/08/2019**  
DWG. NO.: **A19/01/P1.9B**

SHEET:  
**P1.9**

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**PROPOSED ADDITIONS & ALTERATIONS**  
 21-24 NORTH TERRACE,  
 ADELAIDE 5000

SHEET TITLE:  
**SHADOW DIAGRAMS**

DRAWN: **AJSG** CHECKED:

SCALE: **as shown @A1**

All dimensions to be verified on site and any discrepancies reported to the Architect prior to proceeding with any work.

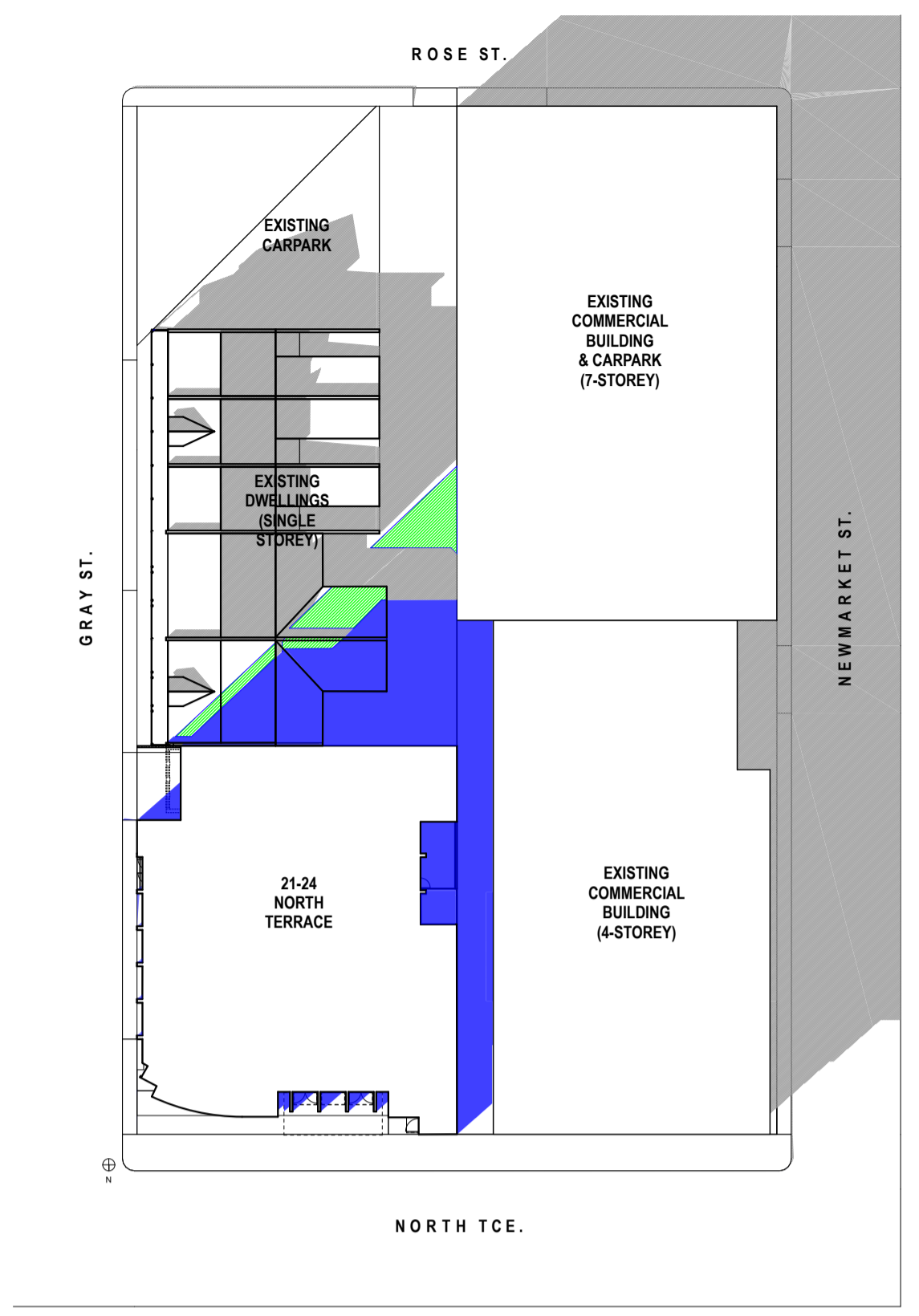
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SHEET:

**P1.10**

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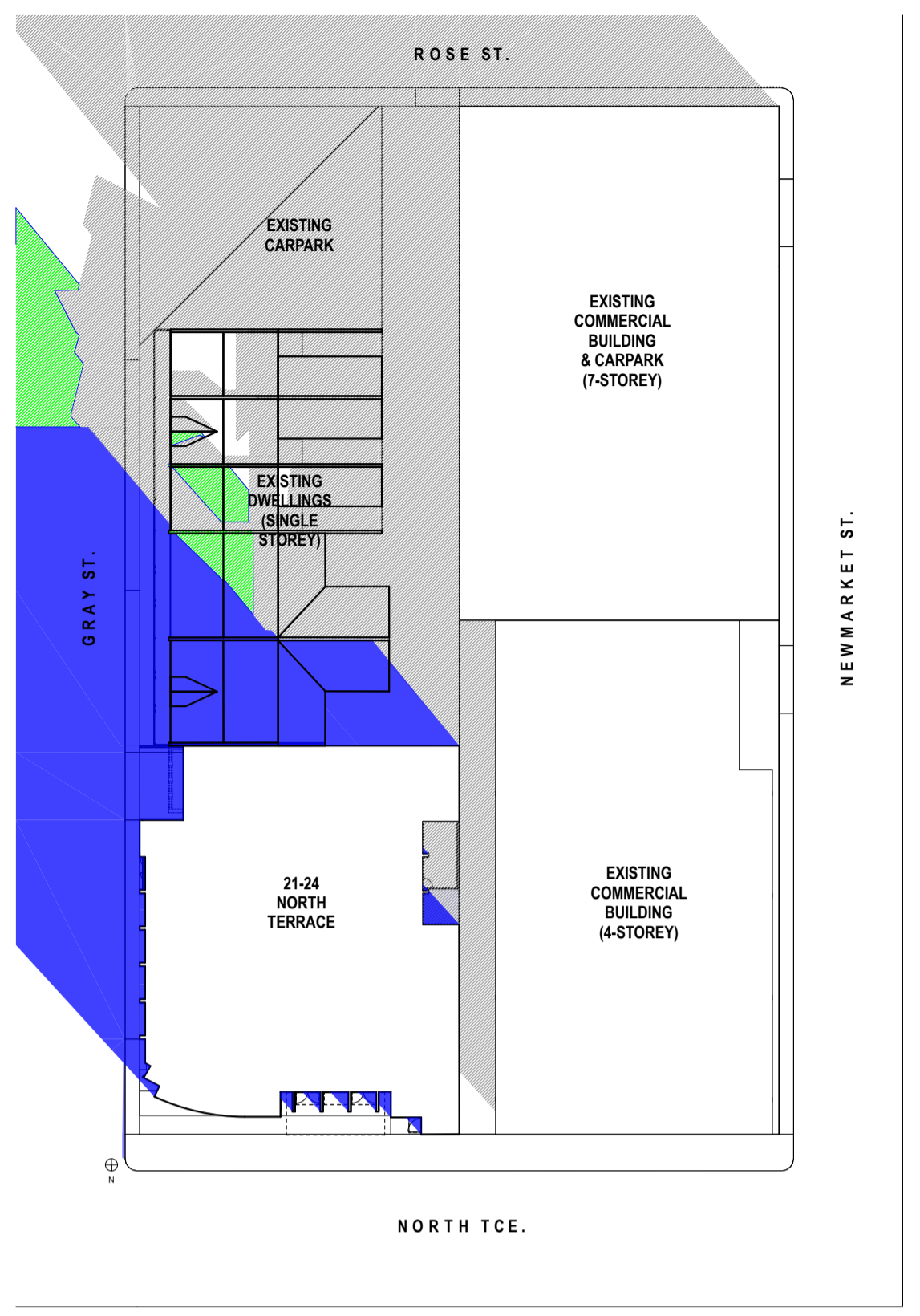


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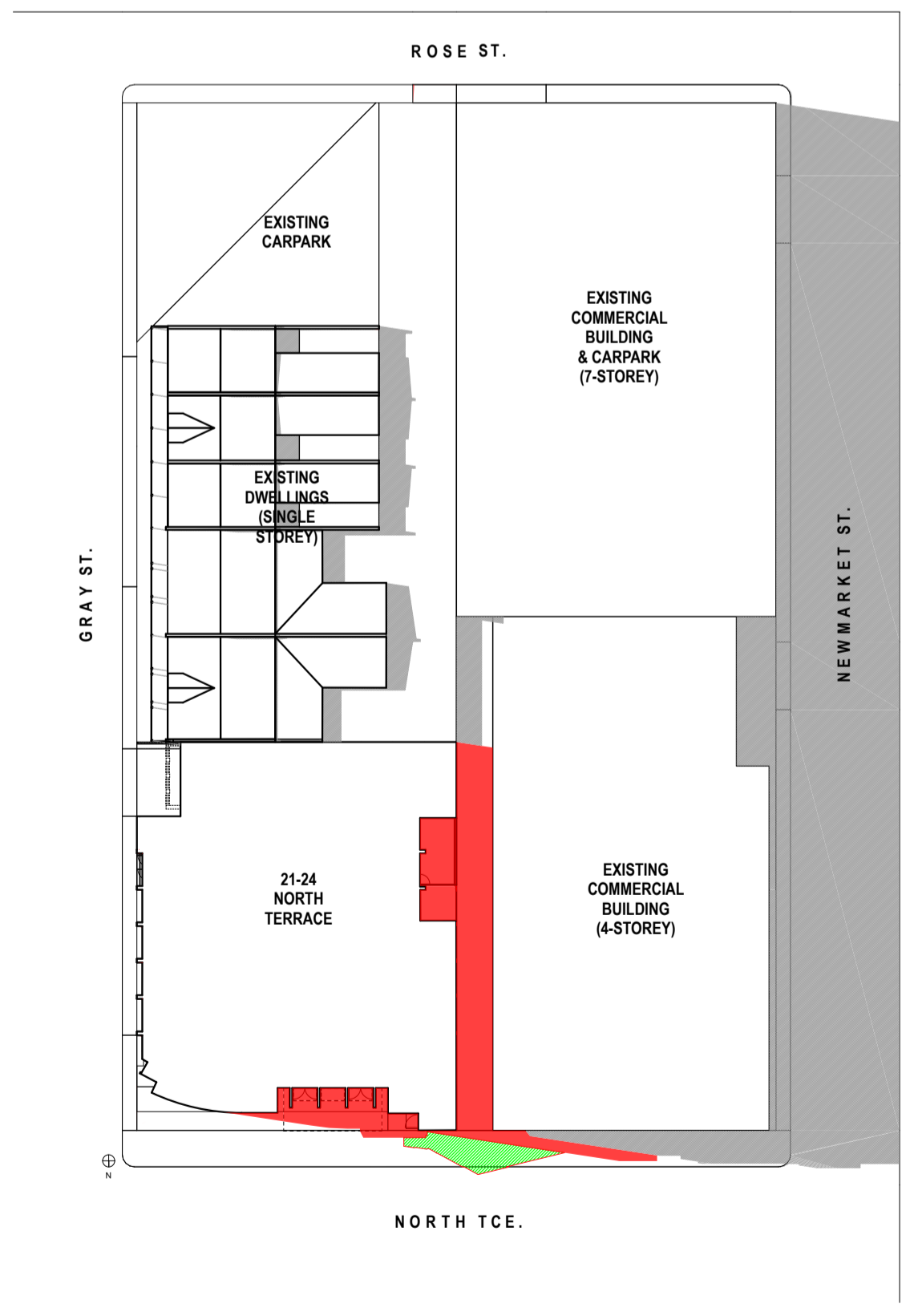
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- EXISTING SHADOWS (BY EXISTING 4-LEVEL BUILDING ONLY)
- NEW SHADOWS (BY BUILDING WITH PROPOSED ADDITIONS)



**2** June 21st - 12pm **1:500**

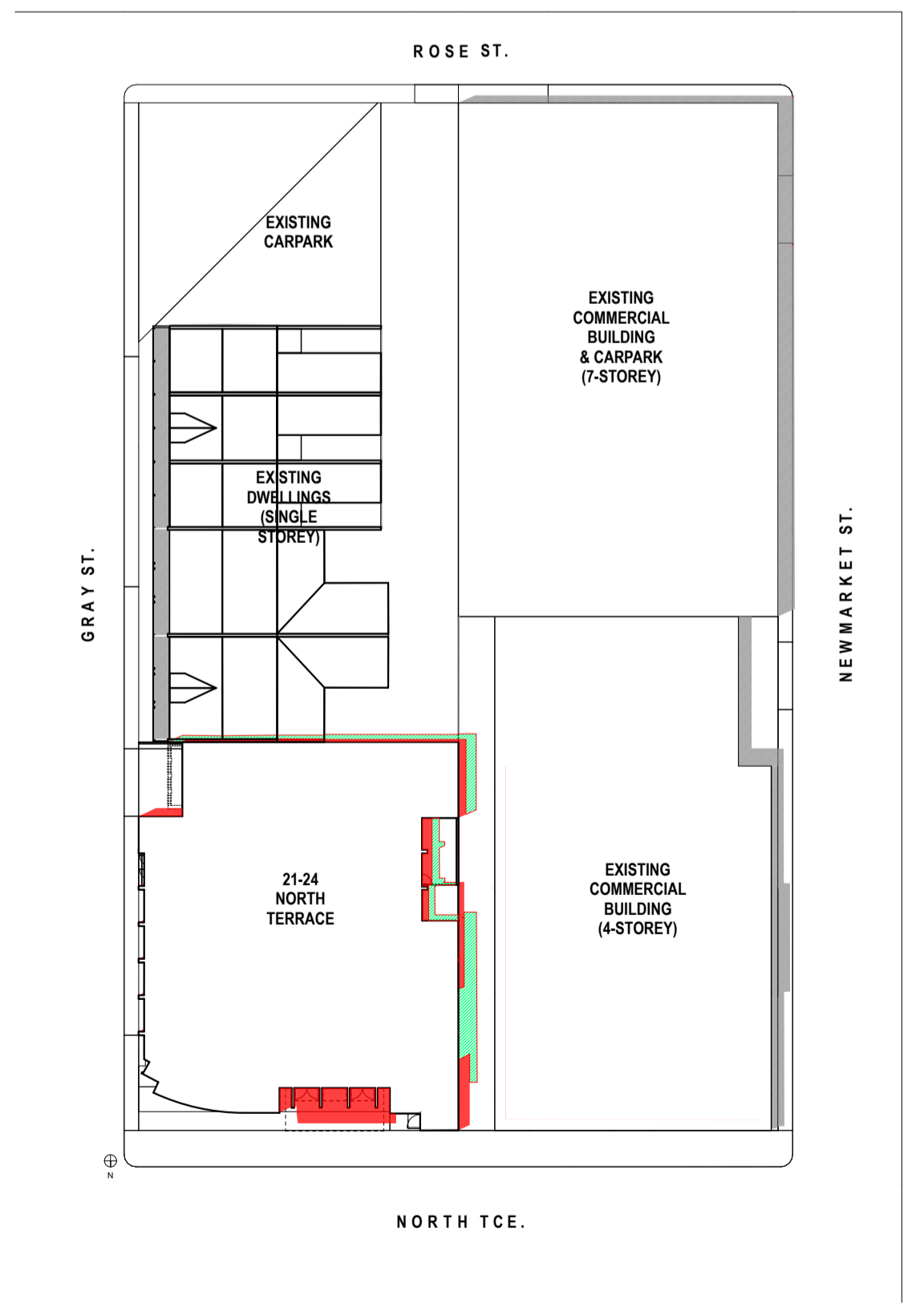


**3** June 21st - 3pm **1:500**

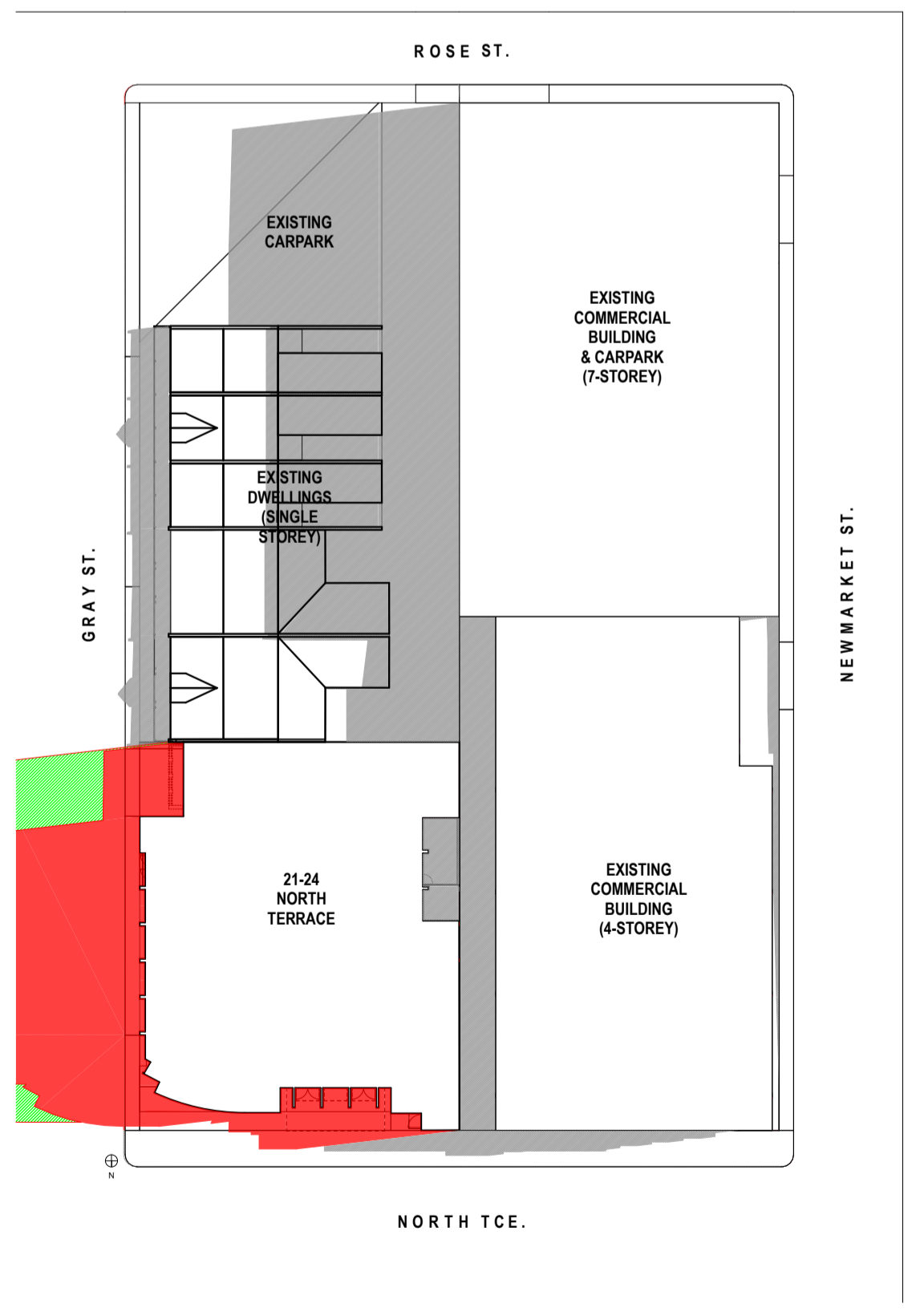


**4** December 22nd - 9am **1:500**

- EXISTING SHADOWS CAST (NEIGHBOURING BUILDINGS)
- EXISTING SHADOWS (BY EXISTING 4-LEVEL BUILDING ONLY)
- NEW SHADOWS (BY BUILDING WITH PROPOSED ADDITIONS)



**5** December 22nd - 12pm **1:500**



**6** December 22nd - 3pm **1:500**



REV	DATE	DESCRIPTION
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NORTH TCE. & GRAY ST. - CORNER PERSPECTIVE



NORTH TERRACE - PERSPECTIVE 1



NORTH TERRACE - PERSPECTIVE 2



GRAY STREET - PERSPECTIVE



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**PROPOSED ADDITIONS  
& ALTERATIONS**  
 21-24 NORTH TERRACE,  
 ADELAIDE 5000

SHEET TITLE:  
**3D PERSPECTIVES**

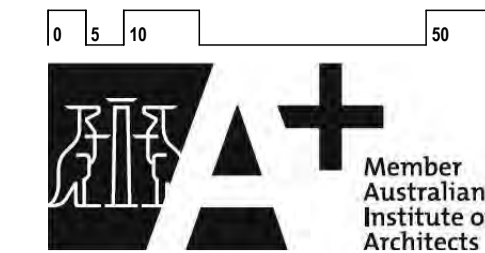
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SHEET:  
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**PROPOSED ADDITIONS & ALTERATIONS**

**21-24 NORTH TERRACE, ADELAIDE 5000**

SHEET TITLE:  
**MATERIALS SELECTION**  
 1

DRAWN: **AJSG** CHECKED:

SCALE: **as shown @ A1**

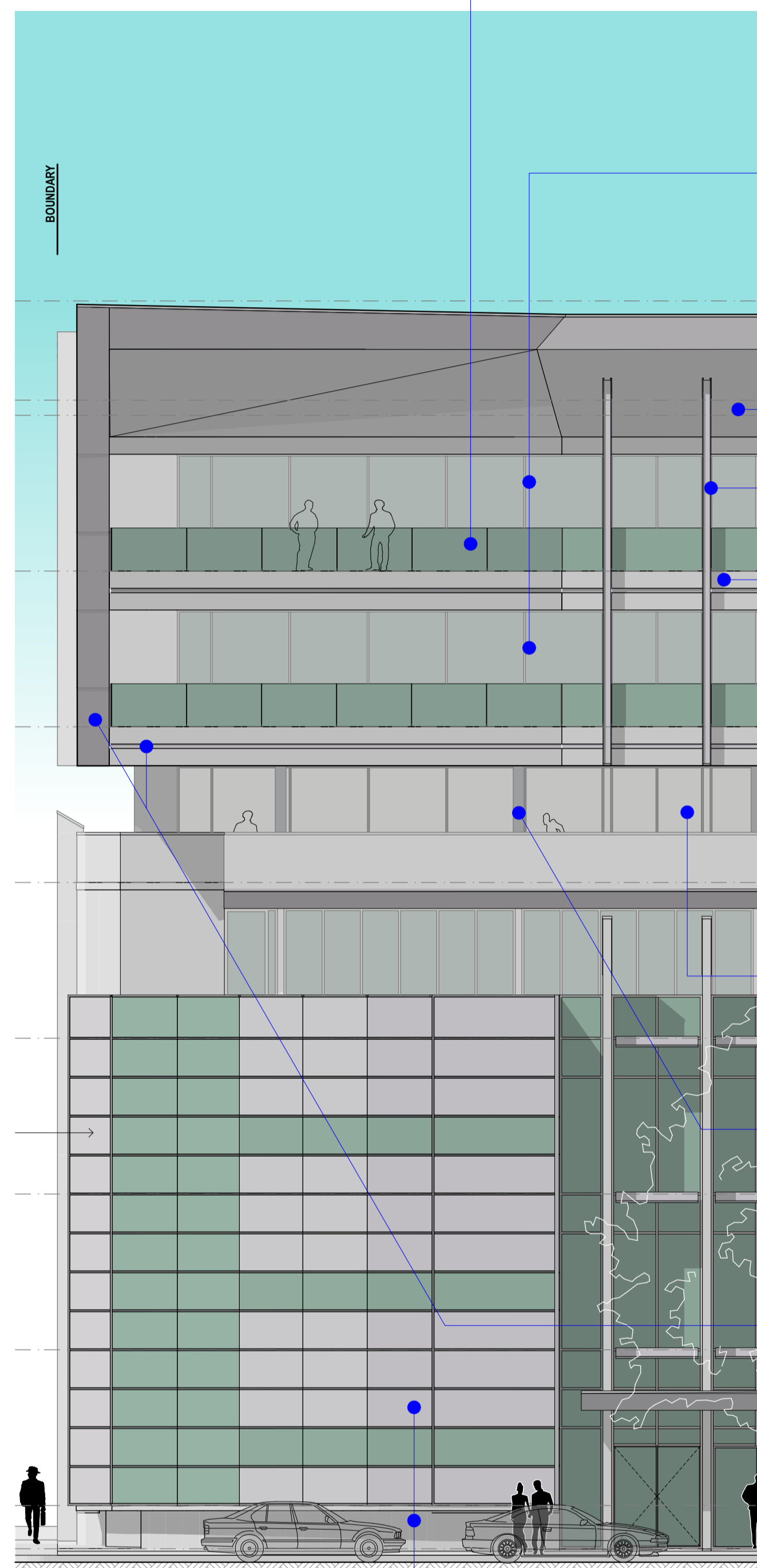
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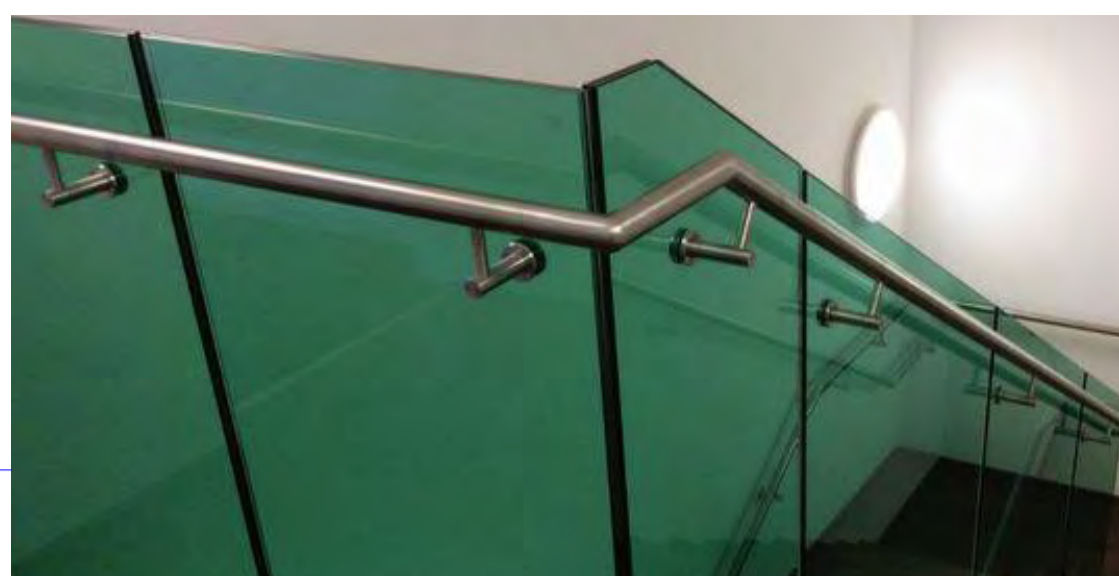
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**P1.12**

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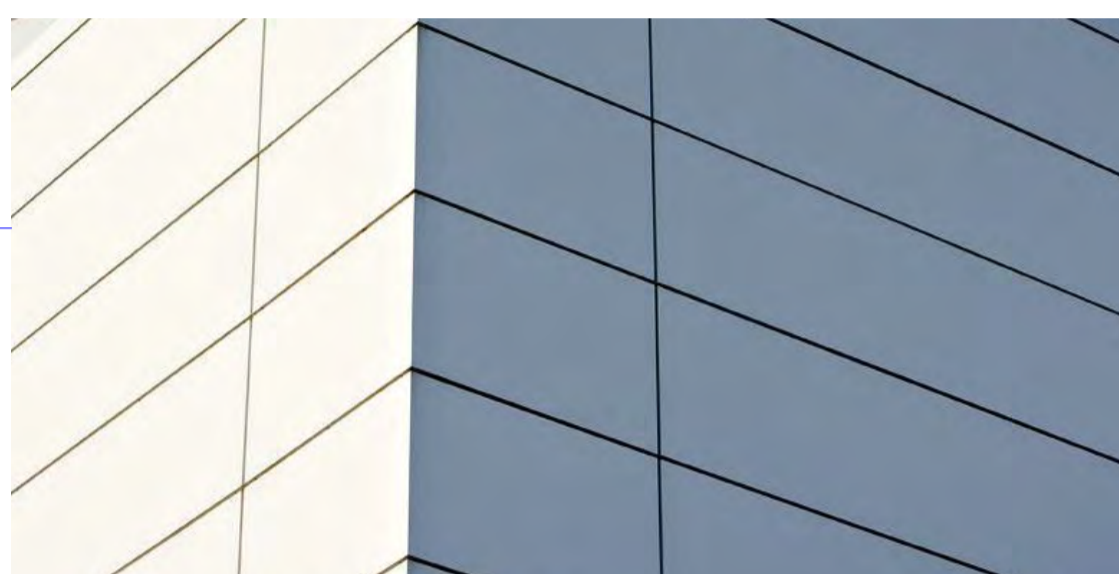
**NORTH ELEVATION (PART.)**



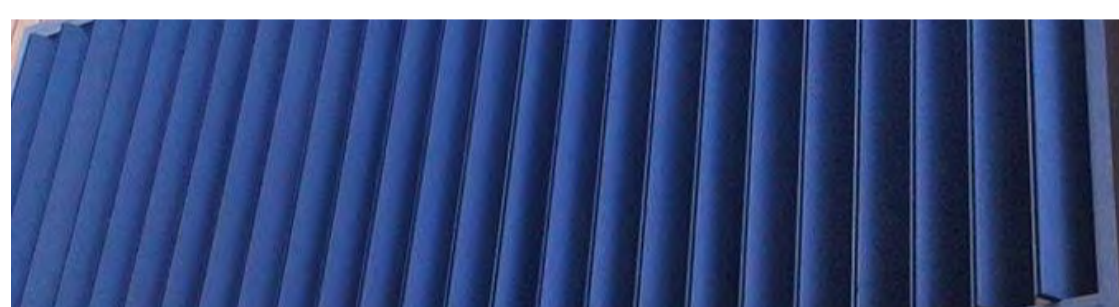
PRODUCT: **COMMERCIAL GLAZING**  
 MATERIAL: **COLOURED GLAZING TO WINDOWS & BALUSTRADE**  
 COLOUR: **GREEN - CLEAR GLAZING**  
**ALUMINIUM FRAMING**  
**STAINLESS STEEL FITTINGS (TO MATCH EXISTING)**



PRODUCT: **COMMERCIAL GLAZING**  
 MATERIAL: **COLOURED GLAZING w/ALUMINIUM FRAMING**  
 COLOUR: **GREEN - CLEAR GLAZING**  
**GREEN WITH TRANSLUCENT FILM**  
**UP TO 1600mm AFL (TO SOUTHERN ELEVATION)**



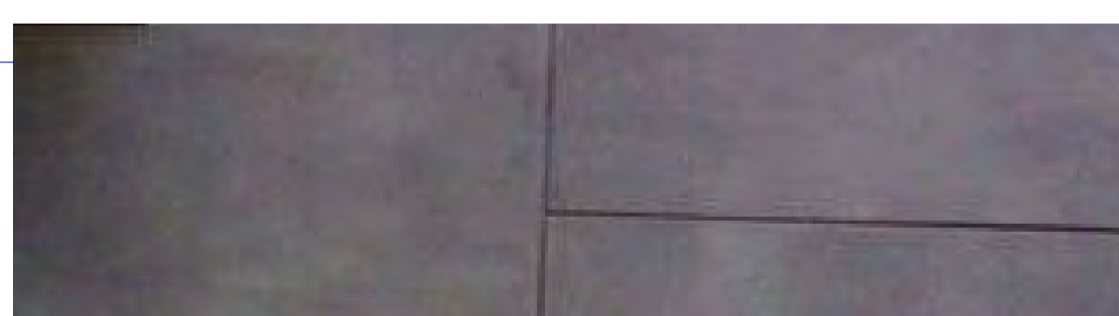
PRODUCT: **EXOTEC EXTERIOR CLADDING**  
 MATERIAL: **FIBRE-CEMENT SHEET**  
 COLOUR: **NATURAL WITH PAINTED FINISH (WHITE)**  
 LOCATION: **WALLS, SOFFIT, FINS (SIDES) & BALCONY (EDGE TRIM)**  
 PATTERN: **EXPRESSED JOINTS**  
**AS SHOWN ON ELEVATIONS**



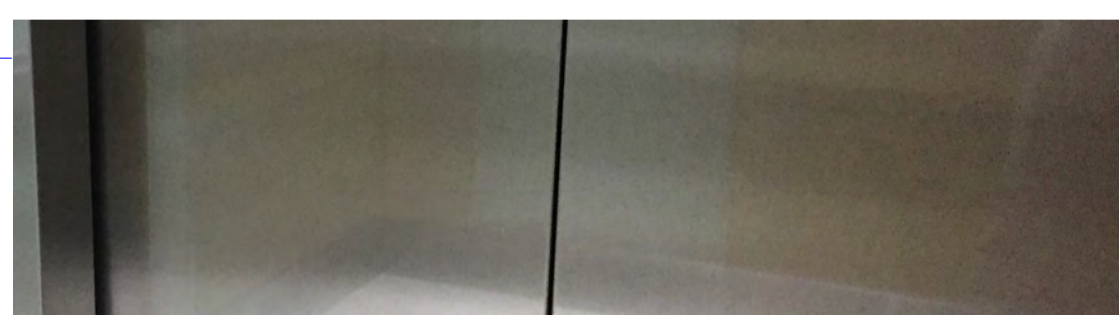
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 MATERIAL: **POWDERCOATED ALUMINIUM**  
 COLOUR: **MID-GREY (BASALT)**



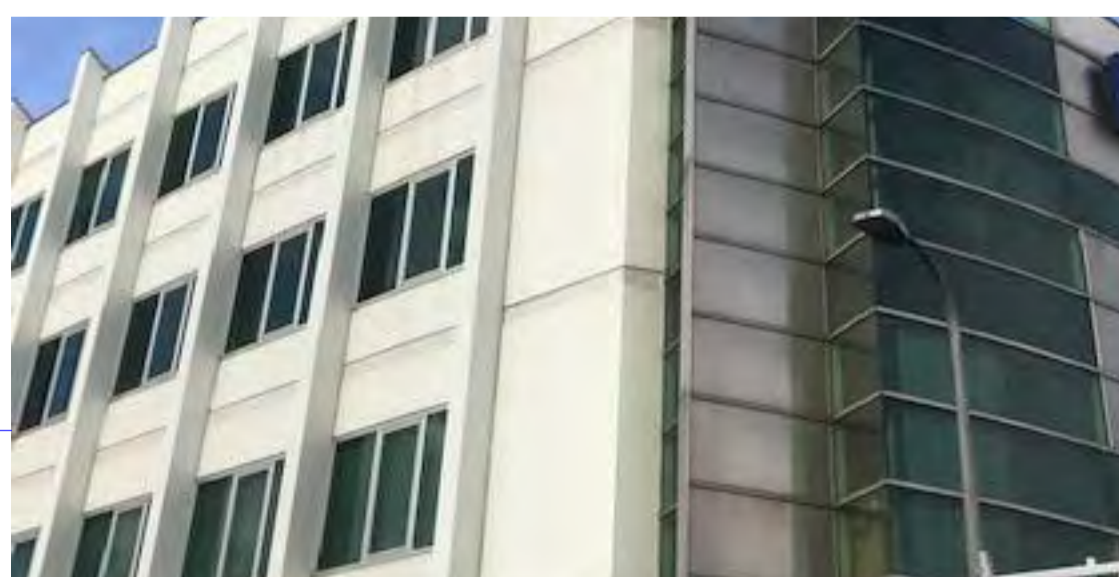
PRODUCT: **COMMERCIAL DOORS & WINDOWS**  
 MATERIAL: **ANODISED ALUMINIUM & COLOURED GLASS**  
 COLOUR: **NATURAL (SILVER)**  
**\* GREY GLASS WITH TRANSLUCENT FILM OVER**



PRODUCT: **EXOTEC EXTERIOR CLADDING**  
 MATERIAL: **FIBRE-CEMENT SHEET**  
 COLOUR: **NATURAL WITH PAINTED FINISH (Charcoal)**



PRODUCT: **CUSTOM WALL PANEL CLADDING & BALCONY TRIM**  
 MATERIAL: **BRUSHED STAINLESS STEEL**  
 COLOUR: **NATURAL (SILVER)**



**EXISTING MATERIALS**

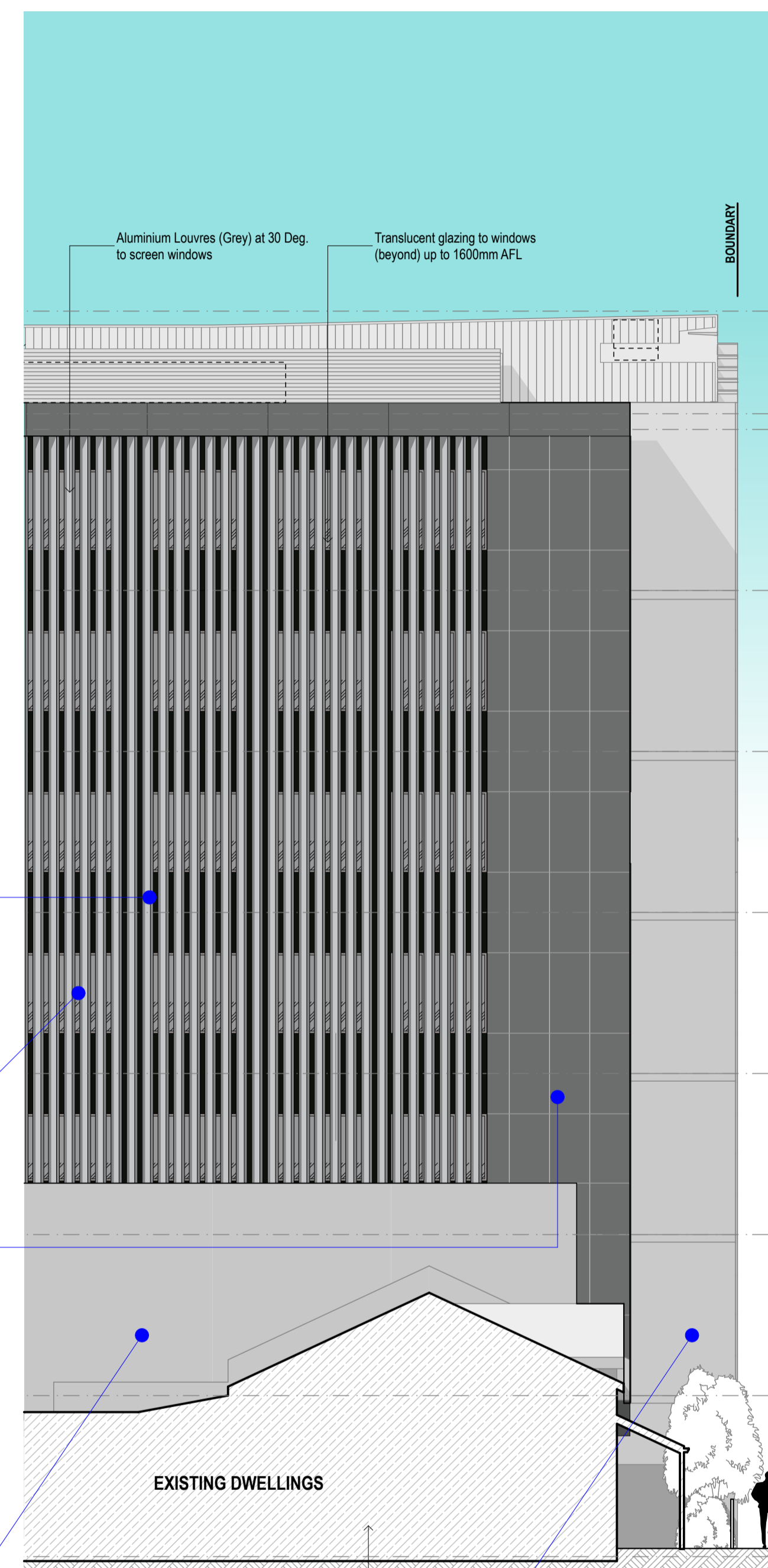
PRODUCT: **TILT-UP CONCRETE PANEL**  
 MATERIAL: **REINFORCED CONCRETE**  
 COLOUR: **PAINTED (WHITE)**

PRODUCT: **COMMERCIAL DOORS & WINDOWS**  
 MATERIAL: **ANODISED ALUMINIUM & COLOURED GLASS**  
 COLOUR: **NATURAL (SILVER) & GREEN GLASS**

PRODUCT: **CURTAIN WALL CUSTOM PANELS**  
 MATERIAL: **BRUSHED STAINLESS STEEL**  
 COLOUR: **NATURAL (SILVER)**

PRODUCT: **CURTAIN WALL COMMERCIAL GLAZING**  
 MATERIAL: **COLOURED GLASS**  
 COLOUR: **GREEN - CLEAR**

PRODUCT: **CUSTOM CAPPING, RAILING & AWNINGS**  
 MATERIAL: **BRUSHED STAINLESS STEEL**  
 COLOUR: **NATURAL (SILVER)**



**SOUTH ELEVATION (PART.)**

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**PROPOSED ADDITIONS & ALTERATIONS**

21-24 NORTH TERRACE,  
 ADELAIDE 5000

SHEET TITLE:  
**MATERIALS SELECTION**

2

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SCALE: **as shown @ A1**

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**NORTH ELEVATION (SPLIT)**

**SOUTH ELEVATION (SPLIT)**

**PRODUCT: COMMERCIAL GLAZING**  
**MATERIAL: COLOURED GLAZING TO WINDOWS & BALUSTRADE**  
**COLOUR: GREEN - CLEAR GLAZING**  
**ALUMINIUM FRAMING**  
**STAINLESS STEEL FITTINGS (TO MATCH EXISTING)**

**PRODUCT: COMMERCIAL GLAZING**  
**MATERIAL: COLOURED GLASS**  
**COLOUR: GREEN (TO MATCH EXISTING)**

**PRODUCT: EXOTEC EXTERIOR CLADDING**  
**MATERIAL: FIBRE-CEMENT SHEET**  
**COLOUR: NATURAL WITH PAINTED FINISH (WHITE)**  
**PATTERN: EXPRESSED JOINTS**  
**AS SHOWN ON ELEVATIONS**

**PRODUCT: COMMERCIAL DOORS & WINDOWS**  
**MATERIAL: ANODISED ALUMINIUM & COLOURED GLASS**  
**COLOUR: NATURAL (SILVER) & GREY GLASS**

**PRODUCT: EXOTEC EXTERIOR CLADDING**  
**MATERIAL: FIBRE-CEMENT SHEET**  
**COLOUR: NATURAL WITH PAINTED FINISH (Charcoal)**

**PRODUCT: EXOTEC EXTERIOR CLADDING / Ex. Wall**  
**MATERIAL: FIBRE-CEMENT SHEET / Concrete Panel**  
**COLOUR: NATURAL WITH PAINTED FINISH (Black)**

**PRODUCT: COMMERCIAL SCREEN - VERTICAL FIN**  
**MATERIAL: POWDERCOATED ALUMINIUM**  
**COLOUR: MID-GREY (BASALT)**

**EXISTING MATERIALS**

**PRODUCT: TILT-UP CONCRETE PANEL**  
**MATERIAL: REINFORCED CONCRETE**  
**COLOUR: PAINTED (WHITE)**

**PRODUCT: COMMERCIAL DOORS & WINDOWS**  
**MATERIAL: ANODISED ALUMINIUM & COLOURED GLASS**  
**COLOUR: NATURAL (SILVER) & GREEN GLASS**

**PRODUCT: CURTAIN WALL CUSTOM PANELS**  
**MATERIAL: BRUSHED STAINLESS STEEL**  
**COLOUR: NATURAL (SILVER)**

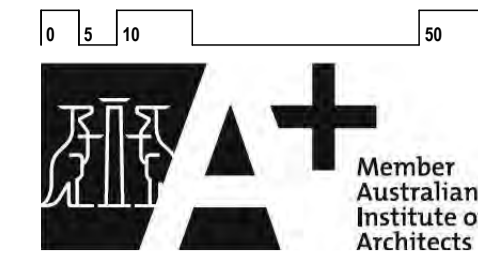
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**PRODUCT: CUSTOM CAPPING, RAILING & AWNINGS**  
**MATERIAL: BRUSHED STAINLESS STEEL**  
**COLOUR: NATURAL (SILVER)**

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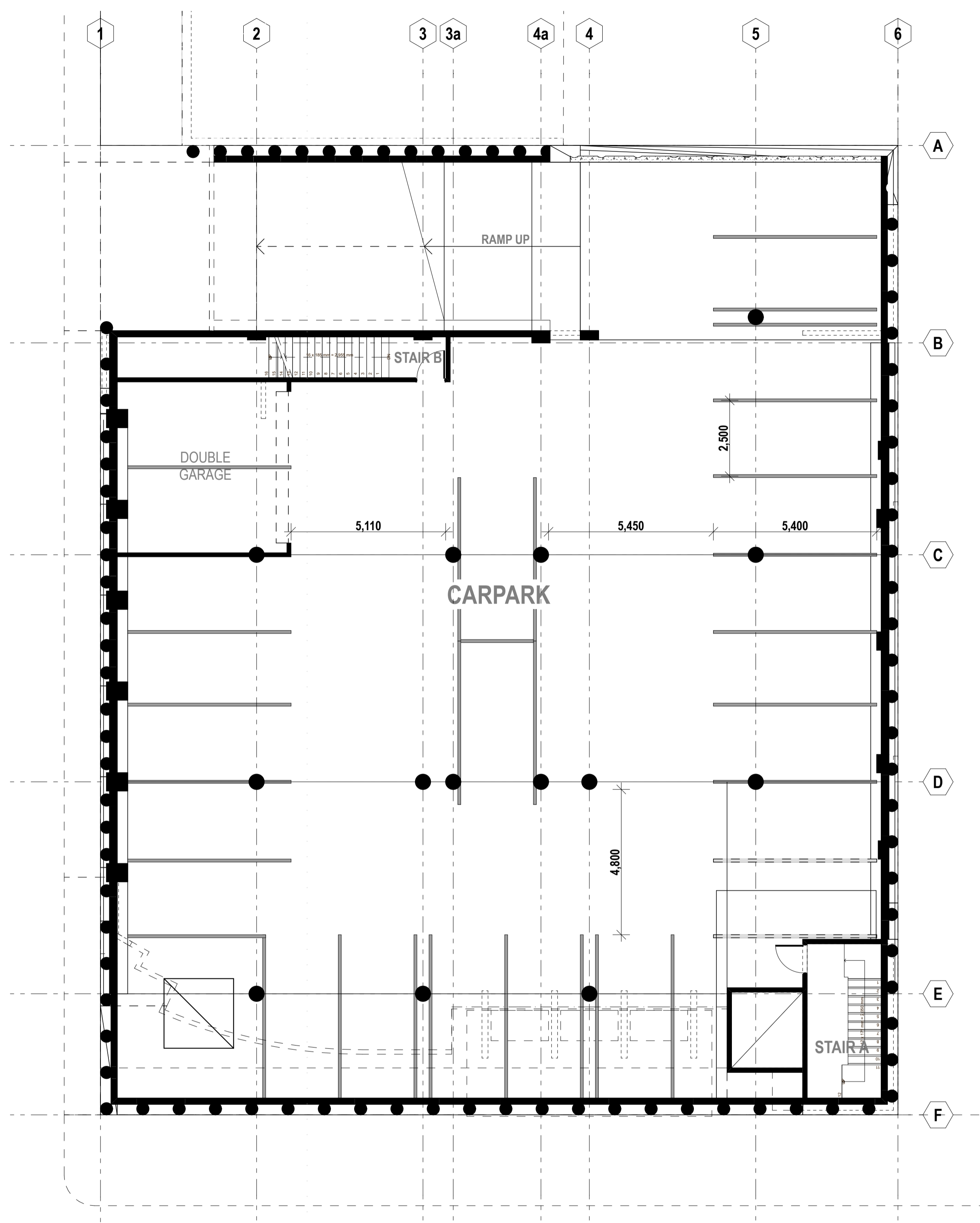
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GROUND LEVEL 1:100



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**PROPOSED ADDITIONS  
 & ALTERATIONS**  
 21-24 NORTH TERRACE,  
 ADELAIDE 5000

SHEET TITLE:  
**EXISTING CARPARK  
 LAYOUT**

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**28/08/2019**

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## Design Statement

### **Proposed Alterations & Additions to 21-24 North Terrace, Adelaide**

The proposed alterations and additions to 21-24 North Terrace, Adelaide provides the opportunity to capitalise on a developing part of the city by fully exploiting the potential of the site on the corner of Grey Street.

The existing building was purpose designed and built for the client almost 20 years ago with a distinctive articulated form highlighted with a small, robust palette of materials. It was awarded a commendation in the City of Adelaide Prize 2001.

The current proposal consists of three additional floors to the main portion of the building and 5 additional levels over the smaller rear portion. New elevators on the western elevation will service the entire building whilst all areas will undergo upgrading to current commercial standards suitable for allied health professional consulting rooms and/or offices

The design response has sought to 'float' the two highest floors over the current roof level to distinguish the additions and break the bulk of the additional mass. This is further highlighted with the use of fully tinted glazing that is setback from the main building line. The mass of the southern additions has been further highlighted with another continuous 'break' from the existing two storey boundary wall.



A distinctive sloping roof rises from the south and sails out over two angled balconies to provide protection to the extensive Northern glazing and create a distinctive expressive form at the corner of the site. The eastern wall meets the roof with a sloping frontage to North Terrace, whilst carefully angled balconies and soffits add visual interest and further prominence.

Reference to the existing building language has been made with the use of familiar scale and articulation, identical detailing, vertical 'fin' elements, extrusion of the eastern stairwell, matching fenestration and identical colour and material selection. A significant screened area has been allocated on the roof for the consolidation of building services.

As the majority of the works are from Level 2 upwards, the interface at street level - with the adjacent heritage cottages on Grey Street remains predominantly the same as the current situation, notwithstanding a slight increase in overshadowing. Investigations will be made (in conjunction with a structural engineer) into the possibility of reducing the height of the existing concrete fence / wing wall panel, as suggest by Council.

Overall the proposal offers a fully integrated design solution that ties into the mass and scale of the precinct whilst providing a notable focal point. It will enable the entire building to be upgraded to current standards and provide a valuable addition to North Terrace.

REF: 0530 – 21-24 North Terrace, Adelaide



16 May 2019

Ms Helen Dand  
Principal Planner – Development Assessment  
Adelaide City Council  
4<sup>th</sup> Floor, 25 Pirie Street  
ADELAIDE SA 5000

Ground Floor,  
89 King William Street  
GPO Box 2403  
Adelaide SA 5001  
PH: 08 8221 5511  
W: www.futureurbangroup.com  
E: info@futureurbangroup.com  
ABN: 34 452 110 398

Dear Helen,

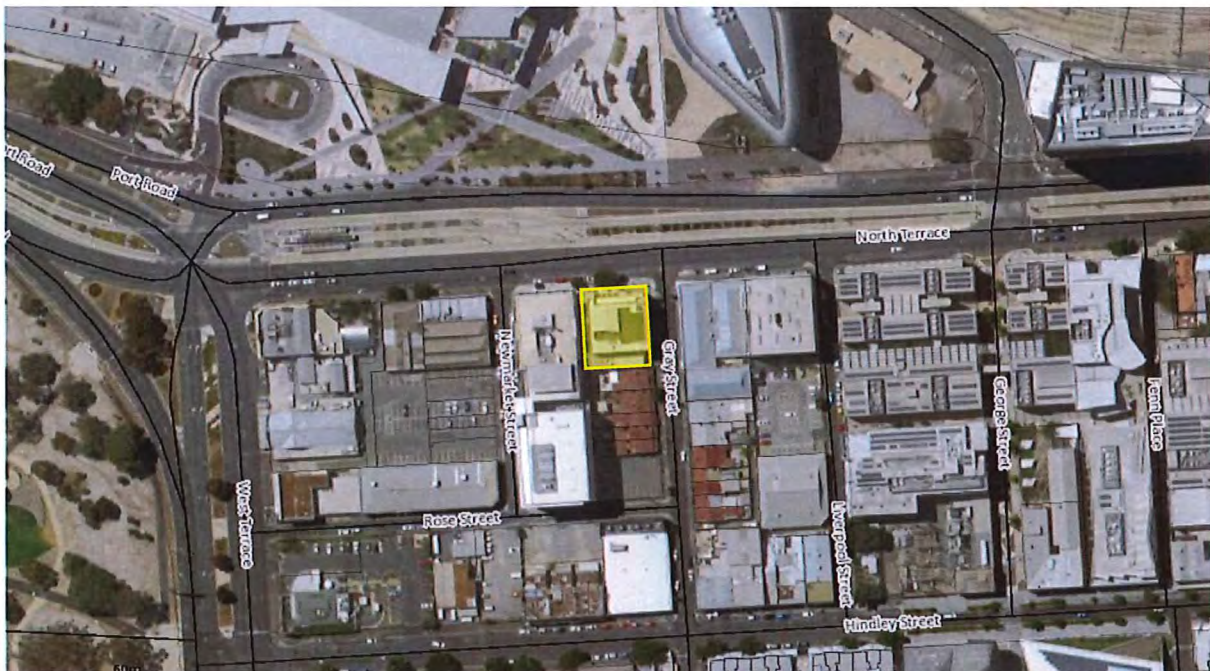
RE: PROPOSED ALTERATIONS AND ADDITIONS TO THE EXISTING BUILDING AT  
NOS. 21-24 NORTH TERRACE, ADELAIDE.

I refer to our recent meeting and confirm that we have been engaged by the Luca Group of Companies to provide a brief statement in support of the above application.

### SUBJECT SITE AND LOCALITY

The subject land is located on the south-western corner of North Terrace and Gray Street, has frontages of 26.59 metres and 32.02 metres to North Terrace and Gray Street respectively and an area of approximately 849 square metres. The 4 storey Fairmont Homes building is existing on the land.

**Figure 1** Subject Site and Locality



The locality has a mixed character, predominantly commercial/community services in nature with limited residential development. The imposing South Australian Health and Medical Research building, known colloquially as the 'cheese grater,' and the Royal Adelaide Hospital are bold and dominant elements of the locality.



## PROPOSAL

It is proposed to carry out alterations and additions to the existing building including the construction of 5 additional levels to the rear of the building and 3 to the front.

The design has undergone a number of iterations in response to concerns raised by the Council's Administration, namely that the proposed development adversely impacts the setting of the adjacent local heritage places. For this purpose, it should be noted that the proponent has investigated alternative design solutions such as focussing the additional floor space towards the North Terrace frontage of the site. However, structural engineering advice confirms that the existing footings would not support the additional loadings.

The attached Design Statement, prepared by Giordano Architecture, sets out how the proposed development addresses the key design criteria to deliver a high standard of architecture and landmark presence at this 'gateway' location.

## DISCUSSION

From the outset it is important to keep in mind that the Development Plan is a practical document calling for practical application. It is established law that the provisions of a Development Plan are advisory and not mandatory; they are not a set of hard and fast rules. Further, it is well established that the zoning intentions and existing character of a locality are to be properly balanced and a proposed development must be judged in its historical and factual context. The appropriate test is whether the proposed development sufficiently meets the relevant Development Plan guidelines as a whole to warrant the grant of consent.

The subject land is within the Capital City Zone under the Adelaide (City) Development Plan consolidated 7 June 2018.

Capital City Zone PDC 21 provides that development should not exceed the maximum building height shown on Concept Plan Figures CC/1 and 2 unless it meets certain listed criteria. In this instance the maximum building height is 43 metres and the proposed building height is 28.84 metres.

Capital City Zone PDC 22 recommends that development should have optimal height and floor space ratio yields to take advantage of the premium City location and should have a building height of no less than half of the maximum shown on Concept Plan Figures CC/1 and 2, unless a number of factors apply to the development including where the site is adjacent to a heritage place.

For the purpose of discussion, the Development Plan policy is prefaced by a description of the envisaged City Form which establishes that the City's structure will be reinforced by the Capital City Zone being the focus of high rise development in the City. This intent is reinforced in the Desired Character in that ...*"High scale development is envisaged in the Zone with high street walls that frame the streets."*

(emphases added)

Council Wide Heritage and Conservation policy encourages development that retains the heritage value and setting of a heritage place and its built form contribution to the locality.



In this instance, No.'s 11-19 Gray Street, immediately to the south of the subject land, are listed local heritage places. It is noted however, that these single storey properties are currently bounded to the west by what is essentially an unrelieved wall of an eight (8) storey office/carpark building built to the common boundary and to the north by a near equivalent three (3) storey unrelieved wall, also built to the common boundary. Approval has also been granted for an additional 3 floors to the Adelaide Day Surgery building immediately to the west of the subject land.

It is also noted that these properties include a steel trellis-like structure over the rear yards which, it is assumed, is designed to support climbing and trailing plants with a view to reducing heat loads and providing weather protection.

The setting of these heritage places is primarily to Gray Street, a relatively narrow roadway off North Terrace. As noted above, the surrounding lands have been developed in a generally intensive way. This setting results in the primary views being somewhat limited to oblique views down Gray Street in an otherwise busy and mixed streetscape, close views within the immediate locality and partial views from North Terrace.

In essence the proposed development does not unduly impact upon such views and vistas and whilst it introduces additional built form into the background of the view from the south, the proposed height and scale, which respects the general intent of the Development Plans building height provisions, would not be overbearing and would not unnecessarily impact on their setting or overall appreciation.

In these circumstances it is our considered professional opinion that any likely impacts are not expected to unacceptably compromise the historic value of these places or diminish their contribution to the character of the locality.

A comprehensive Heritage Impact Statement, in support of the application, is being prepared by Douglas Alexander, Flightpath Architects, an experienced, qualified and well-respected heritage expert and will be made available to the Council in due course.

With respect to likely amenity impacts it is acknowledged that there will be additional, but limited, overshadowing which is to be expected in the built-up environments envisaged by the Capital City Zone.

Visual amenity will be maintained as the proposal has adopted various articulation and modelling techniques and materials and finishes palette that blends in a coherent manner with its surroundings and reflects the standard of development envisaged for the Capital City Zone.

## CONCLUSION

Having due regard to the nature of the site and its factual context and the relevant provisions of the Adelaide (City) Development Plan consolidated 7 June 2018 it is considered that the proposed development is not seriously at variance with the provisions of the Plan, is in general accord with the overall intent and purposes of the Capital City Zone and is a reasonable form of development that:

- is orderly and economic;
- is well designed and responds in an appropriate manner to its setting;
- will not detract from the value and setting of surrounding development;
- has due regard to its neighbours and the locality; and
- adopts appropriate energy efficiency and crime prevention measures.



For all the above reasons it is considered that the proposed development has sufficient merit to warrant consent.

Should you wish to discuss any of the above then do not hesitate to contact the undersigned.

Yours Sincerely

A handwritten signature in blue ink that reads 'A. Kelly.' with a large, sweeping flourish at the end.

Tony Kelly  
Principal



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 14/06/2019

## 21 – 24 NORTH TERRACE, ADELAIDE

### Architectural + Heritage Statement

Project Reference: 3579

prepared for:  
 Tony Kelly Future Urban  
 12 June 2019

Version: FINAL

Flightpath Architects Pty Ltd  
 ABN 16 085 522 014

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## 1.0 Introduction

---

### 1.1 Purpose

The report provides a considered heritage comment on the proposed additional development at the 21 – 24 North Terrace, Adelaide.

The Subject Land incorporates a modern four level building facing North Terrace and Gray Street, with a two level southern portion that is set back from the Gray Street boundary, set behind the frontage, verandah, fence and garden of single storey, heritage listed cottages to the south.

### 1.2 The Proposal

The Subject Land is on the north west corner of Gray Street and North Terrace.

The proposal involves the construction of 3 additional levels to the existing office building facing North Terrace and the addition of 5 storeys to the existing 2-storey structure on the Southern portion of the site, with the south wall built on boundary.

The proposal is depicted on Giordano Architecture drawings P1.0 to P1.14 inclusive.

### 1.3 Existing Heritage Listings

The adjacent row dwellings at 11-19 Gray Street are listed as one Local Heritage Place (City Significance) in TABLE Adel/4.

To the south east of the Subject Land are six Local Heritage Places (City Significance), being 20,22,24,26,28 and 30 Gray Street.

The Newmarket Hotel at 1-9 West Terrace Adelaide is the nearest State Heritage Place. The Canadian Lodge at 280-290 Hindley Street is also a Local Heritage Places (City Significance).



Figure 1: Canadian Lodge looking North to Subject Land  
Source: Google Maps, 2019

## 1.4 Site Context

The Subject Land is located opposite the recently completed Royal Adelaide Hospital and the SAMRI Building (Figure 2). The Subject building abuts the five level Adelaide Day Surgery to the west on the same side of North Terrace.

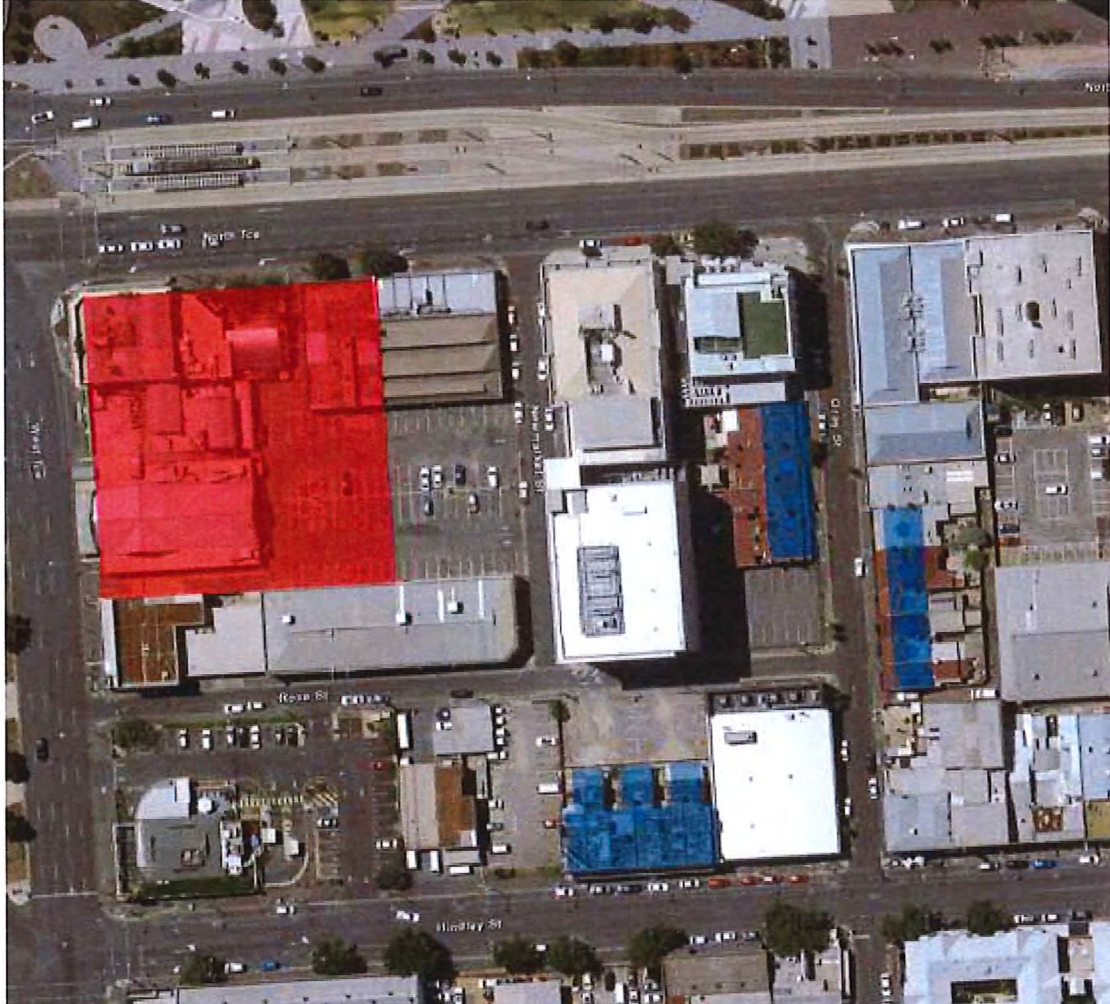


Figure 2: Location Plan showing proximate Local (blue) and State (red) Heritage listings  
Source: Flightpath Architects, 2019



Figure 3: View of the Subject Site from North Terrace looking south west (Right) and the new Royal Adelaide Hospital opposite (left)  
Source: Flightpath Architects, 2019



Figure 4: View of the Subject Site from Gray Street looking north (left) and view looking south along Gray Street (right)  
 Source: Flightpath Architects, 2019



Figure 5: View from the Subject Site looking South East along Gray Street  
 Source: Flightpath Architects, 2019

## 2.0 Historical Context

---

### 2.1 The Row Cottages

The row cottages previously extended to Rose Street to the south as depicted below. Two cottages have been demolished from the Rose and Gray Street corner and replaced with an open area currently being used for a carpark. The remaining row cottages to the north are as depicted in Figure 3 below.



Figure 6: Cottages, Gray Street, West Side, 1969 (No. 25 and 21, in foreground, later demolished)

Source: *State Library of South Australia, Mortlock Pictorial Collection, B 19494*



Figure 7: Cottages, Gray Street, West Side, 1969 (No. 25 and 21, in foreground, later demolished)

Source: *Google Maps*

### 3.0 Site Context

#### 3.1 Locality

The locality is considered to include the modern multi-level buildings to the north, west and east of the Subject Land, extending towards the northern side of Hindley Street to the south. The character of the locality is quite diverse, having undergone considerable change since the modern building on the Subject Land was constructed.



Figure 8: Locality  
Source: Google Maps

#### 3.2 Existing Building

The Gray Street streetscape appearance of the remnant row cottages is largely unaltered. The two storey portion to the rear of 21-24 North Terrace is pictured in Figure 4 below.

This indicates a two storey portion that is set back from the front wall of the Local Heritage Place. The dominant scale of buildings to the west provides a prominent backdrop to the Local Heritage Place.

The previous photographs demonstrate the surrounding context of tightly spaced high level buildings, constructed close to site boundaries, particularly south of North Terrace.

#### 3.3 The proposed Development

The proposal is to add three levels above the existing four levels. The upper two levels will be splayed to the north east and be visually separated from the existing building by a new recessed floor. Four levels will be added to the existing two level rear portion, projecting no further forward. The proposed southern walling will be constructed with a white painted fibre cement sheet, green coloured glazing within a natural aluminium frame. The upper two levels will be separated from the lower portion by anodised aluminium and coloured glass. The first of the four levels additions will be also be separated from the existing by a commercial aluminium shadowline.



Figure 9: Heritage listed row cottages to Gray Street and adjacent subject site (view from South) Note set back

Source: *Flightpath Architects, 2019*



Figure 10: Heritage listed row cottages to Gray Street and adjacent subject site (view from South): Note set back

Source: *Flightpath Architects, 2019*



Figure 11: View of the Subject Site looking South West along Gray Street from North Terrace

Source: *Flightpath Architects, 2019*



Figure 12: Heritage listed row cottages to Gray Street with backdrop of higher buildings to the west (view from North)

Source: *Flightpath Architects, 2019*



## 4.0 Adelaide City Development Plan 7 June 2018 Provisions

### 4.1 General

ADELAIDE (CITY) ZONES MAP Adel/17 locates the Subject Land within the Capital City Zone and ADELAIDE (CITY) POLICY AREAS MAP Adel/48 indicates the Subject Land adjacent to Local Heritage Places but not within a particular Policy Area.

The Council Wide, Heritage and Conservation provisions have also been considered.

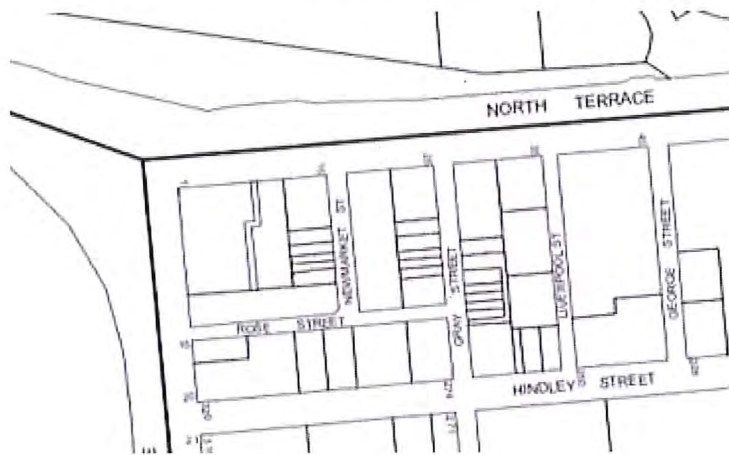


Figure 13: Extract ADELAIDE (CITY) ZONES MAP Adel/17  
Source: City of Adelaide Development Plan, 2018

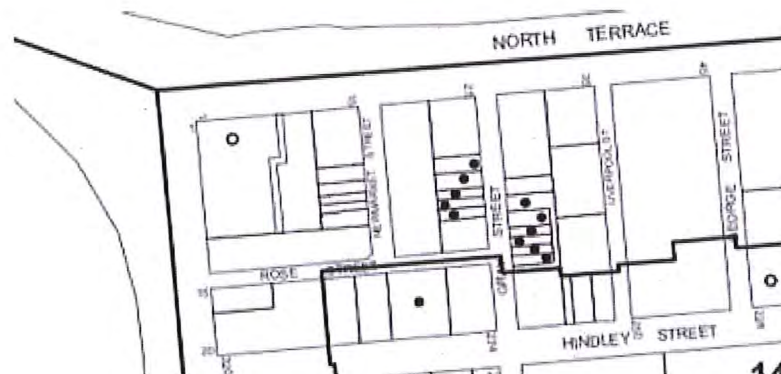


Figure 14: Extract ADELAIDE (CITY) POLICY AREAS MAP Adel/48  
Source: City of Adelaide Development Plan, 2018

### 4.2 Capital City Zone

ADELAIDE (CITY) BUILDING HEIGHTS Concept Plan Figure CC/1 indicates a building height of 43 metres is possible. Refer Figure 15 overleaf.

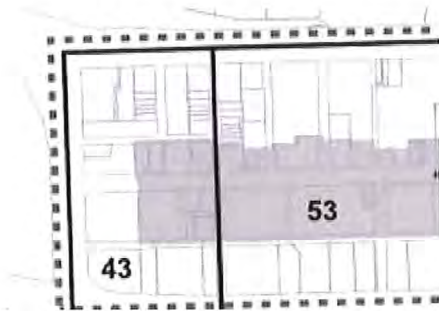


Figure 15: Extract ADELAIDE (CITY) BUILDING HEIGHTS Concept Plan Figure CC/1  
 Source: *City of Adelaide Development Plan, 2018*

#### 4.3 Capital City Zone Desired Character

The Capital City Zone contemplates a Desired Character appropriate to the Zone being the economic and cultural focus of the State. The Zone anticipates high-scale development with high street walls that frame the streets. It also contemplates 'an interesting pedestrian environment and human scale that will be created at ground floor levels through careful building articulation and fenestration, frequent openings in building façades, verandahs, balconies, awnings and other features that provide weather protection.

In narrow streets and laneways the street setback above the street wall may be relatively shallow or non-existent to create intimate spaces through a greater sense of enclosure. The Zone expects contextual, durable, inclusive, sustainable and amenable development and contemporary juxtapositions that create new settings for heritage places. It contemplates innovative design with an emphasis on contemporary architecture that responds to site context and broader streetscape, while supporting optimal site development. The addition of height, bulk and massing of new form should be given due consideration in the wider context of the proposed development.

The Zone encourages North Terrace as an important pedestrian promenade and cultural boulevard that provides an important northern edge to the City square mile. It encourages highly contextual design that reflects and responds to their setting and role.

Hindley Street to the south of the Subject Land and outside of the Locality is considered a Main Street area that has intimate scaled built form with narrow and frequent building frontages.

Of relevance is the sense of enclosure anticipated in minor streets with strong emphasis on ground level activation through frequent window openings, land uses that spill out onto the footpath, and control of wind impacts. Gray Street is listed as a minor street with a high value character and there is an expectation of a suitable design response.

Also considered are the following:

#### 4.4 Capital City Zone Provisions

OBJECTIVES: 5,6,8

PRINCIPLES OF DEVELOPMENT CONTROL: 5, 6, 7, 8,11,14,15, 16, 19, 20, 21

#### 4.5 Heritage and Conservation

OBJECTIVES: 43

PRINCIPLES OF DEVELOPMENT CONTROL: 137, 140, 142, 146

## 5.0 Assessment

---

### 5.1 Capital City Zone Provisions

The proposal is considered to demonstrate an innovative design approach and exhibit contemporary architectural design, encouraged by Objective 5, through extrapolating and interpreting the modern design of the original building to suit 2019 standards, reflecting and responding to the innovative architectural designs in evidence on the north side of North Terrace to both the east and west of the Gray Street junction, within the Locality. This includes the new University buildings adjacent the Morphett Street bridge, SAMRI 1 and SAMRI 2 and the new Royal Adelaide Hospital.

The design adds to and strengthens the existing building's response as a corner building, reinforcing the gridded layout of Adelaide's streets encouraged by Objective 6. The proposal is considered to satisfy Desired Character Objective 8 and also PDC 5 by proposing a higher scale development with higher street walls that frame the streets and prominent north, east and south facades that are articulated and modelled. The proposal also continues the existing respectful setback to the Gray Street frontage at the junction with the Local Heritage Place, enhancing an intimate space and sense of enclosure.

The proposal responds well to the architectural challenge offered in PDC 6, by proposing a high standard of architectural design and finish and the qualities elaborated in PDC 7 that include a high level of visual interest through articulation and avoidance of blank facades.

The proposal also continues to follow the advice of PDC 11 by continuing the restrained set back junction with the north wall of the adjacent Local Heritage Place, allowing the Local Heritage Place to be further forward and framed on the north and west by taller buildings. The proposal is visually cohesive in its integrated and coordinated appearance, an approach encouraged in PDC 14. The facades demonstrate horizontal articulation to distinguish between existing and innovative new elements, whilst reflecting and enhancing the proportions and vertical composition of the existing, through new contemporary design contemplated by PDC 15.

The proposal contributes to the built form framing of the city along North Terrace sought by PDC 19 and PDC 20 and does not exceed the maximum building height, as contemplated in PDC 16 and also 21.

### 5.2 Heritage and Conservation

The proposal interfaces only with the north parapet wall of the row cottages, which have a combined frontage to Gray Street that is wider than the Subject Land. The cottages incorporate a simple steeply pitched gable roof form, interrupted by party wall protrusions and a continuous front verandah. The cottages are set back behind a fence and small garden, but further forward than the rebated junction with the new building.

The proposed development is not considered to disturb the wishes of Council Wide Objective 43, because it retains the heritage value and setting of a heritage place and its built form contribution to the locality.

The proposed development, affecting a Local heritage place (City Significance), does not compromise the continued or adaptive use of the Place, which is materially unaffected by this proposal. The development adopts a restrained and modern complementary material palette that forms a backdrop to the stronger red brick patterning and simple composition of the cottages. Importantly the set back of the rebated junction is maintained, albeit with an articulation in its increased height, to the satisfaction of PDC 137 and PDC 140. The latter provision notably seeks development that is located no closer to the primary street frontage than the adjacent heritage place, a provision respected in the design proposed.

PDC 142 also contemplates development abutting the fabric of a Place to be generally located behind or at the side of the heritage place and without necessarily replicating historic detailing, so as to retain the heritage value of the heritage place. PDC 142 is also fulfilled through the continued setback of the upper addition and its series of visually interesting, articulated forms.

In proposing the continuation of the visual separation achieved by the rebated junction the proposal achieves the expectations of PDC 146, by ensuring that the architectural elements of the cottages remain prominent, with an original frontage of high integrity, that remains protected.

Importantly the proposed development is considered sufficiently separated from the nearby:

- State Heritage Place; The Newmarket Hotel at 1-9 West Terrace Adelaide;
- Local Heritage Places at 20,22,24,26,28 and 30 Gray Street;
- Local Heritage Place at Canadian Lodge at 280-290 Hindley Street, Adelaide.

## 6.0 Conclusion

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### 6.1 Capital City Zone Provisions

The Architectural design drawings of the proposed development depicted on Giordano Architecture drawings P1.0 to P1.14 inclusive have been reviewed.

The Subject Land and Locality has been inspected and the proposal considered against the relevant architectural design, heritage and conservation provisions of the Adelaide City Development Plan 7 June 2018.

It is concluded the following provisions have been satisfied by this appropriate contemporary response that maintains its current rebated junction with the Local Heritage Places to the south and on the north side reaches outwards to North Terrace, reflecting the exciting architecture that lies beyond.

The following provisions are considered satisfied:

### 6.2 Capital City Zone Provisions

OBJECTIVES: 5,6,8

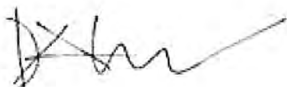
PRINCIPLES OF DEVELOPMENT CONTROL: 5, 6, 7, 8,11,14,15, 16, 19, 20, 21

### 6.3 Heritage and Conservation

OBJECTIVES: 43

PRINCIPLES OF DEVELOPMENT CONTROL: 137, 140, 142, 146

FLIGHTPATH ARCHITECTS PTY LTD



Douglas Alexander  
Heritage Advisor  
Practice Director + Principal Architect

**Consultant Traffic Engineers**

ABN 67 093 665 680

204 Young Street  
Unley SA 5061**P: 08 8271 5999****F: 08 8271 5666****E: mail@philweaver.com.au**

File: 142-19

30 July 2019

Mr Anthony Giordano  
Giordano Architecture  
194 Glynburn Road  
TRANMERE SA 5073

CITY OF ADELAIDE  
ADDITIONAL DOCUMENTS RECEIVED  
  
DA/345/2019  
30/07/2019

Dear Mr Giordano,

**21-24 NORTH TERRACE, ADELAIDE – PROPOSED ALTERATIONS AND ADDITIONS**

I refer to our discussions in relation to the proposed alterations and additional floor levels associated with the existing development which is located on the south-western corner of the intersection of Newmarket Street with North Terrace, Adelaide.

It is my understanding that the proposed development will involve the construction of three additional levels of floor space.

I note that the proposed development will consequently include changes to the basement car parking level including an increase in the diameter of existing columns and relocation of passenger lifts.

The subject car parking area is currently accessed via an existing access point and associated ramp along the Newmarket Street frontage of the site. The location of this access point and the existing ramp into and out of the car park will not change.

I am aware that Council's planning officer assessing the proposed development has provided the following comments in relation to the car parking area:-

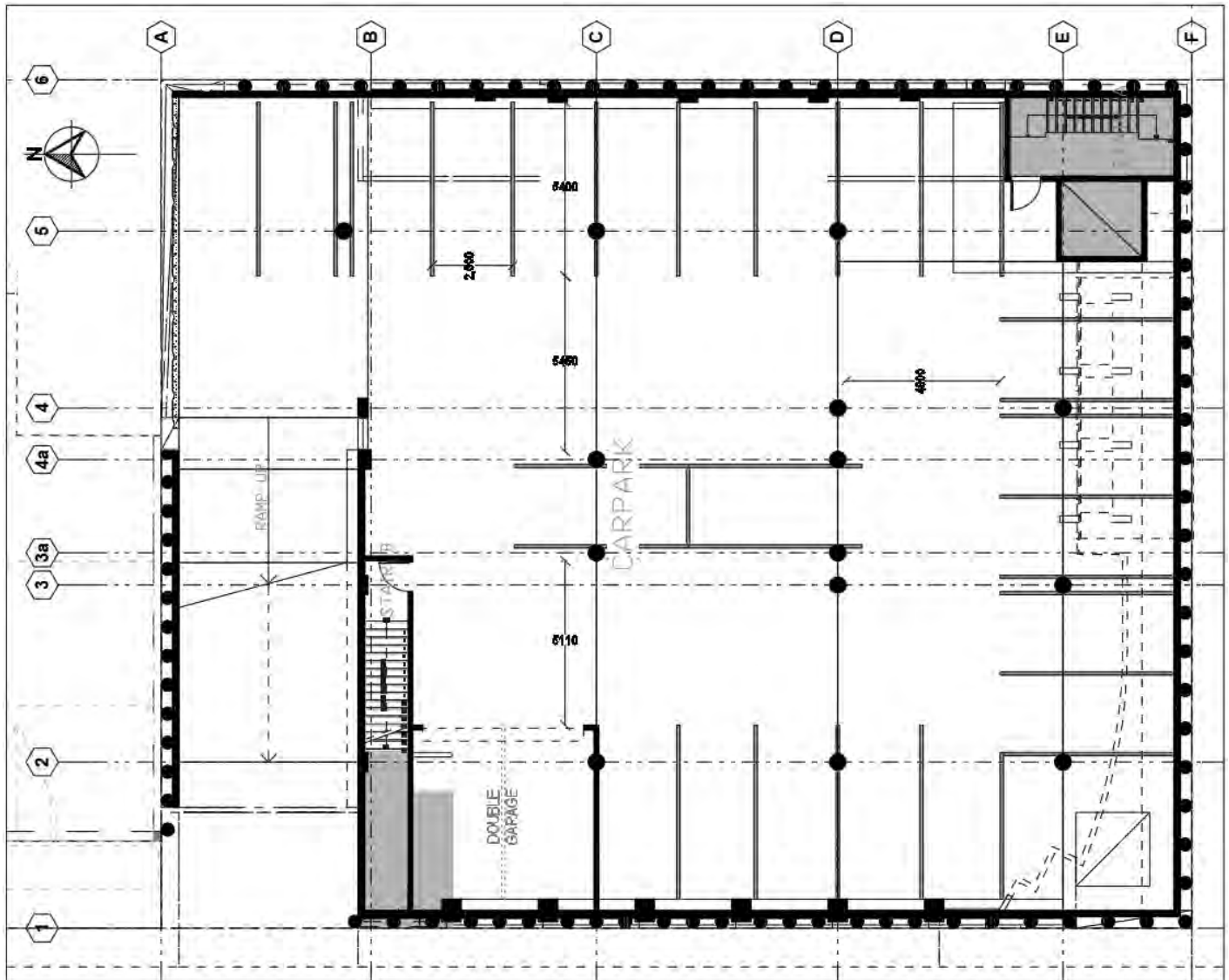
*"I have been working on finalising my report, and recently received comments back from our Traffic team in regards to the basement carparking. Given elements within the car park are being modified as part of this proposal, this triggers conformance with current standards. Traffic have advised that the parking layout is non-compliant as currently proposed.*

*They have advised it appears that conformance may be difficult to achieve and likely to impact upon the number of car parks you will be able to provide."*

I have therefore reviewed both the current and proposed configuration of the subject car park within the following report.

## Existing Car Parking Layout

The existing car parking layout (as provided to this office) is identified by the figure below.



**Figure 1: Existing car park layout**

Figure 1 identifies, inter alia, that:-

- The basement car parking area is currently accessed via a two-way ramp located adjacent to the southern boundary of the site. The width of this ramp is approximately 5m,
- Car parking spaces are provided around the eastern, southern and western perimeters of the basement car parking area with a further two spaces located centrally within the car park and located between pairs of columns,
- The majority of spaces have lengths of at least 5.4 metres,
- A number of car parking spaces have a width which is less than the minimum 2.4 metre wide car parking space required for a **User Class 1a** (providing for long-term resident or tenant car parking) facility due in part to the location of some columns,

- The aisle widths are also less than the minimum required aisle associated with a **User Class 1a** facility, again due primarily to the column layout,
- The location of columns within the car park therefore compromises access into and out of a number of the car parking spaces,
- A number of columns are located in an area which would compromise door opening, particularly given the narrow width of these spaces, and
- The design also includes a double garage and roller door. The effective length of this garage is considered to be less than appropriate for such car parking.

### Proposed Car Park Alterations

Given that the proposed development would result in some additional columns, as well as an increase in size (diameter) of the majority of existing columns within the on-site car parking area, this would further compromise the usability of the current car parking layout.

We have therefore reviewed the existing layout and recommended changes to the line marking (pink) within the car parking area, as identified within *Figure 2* below.

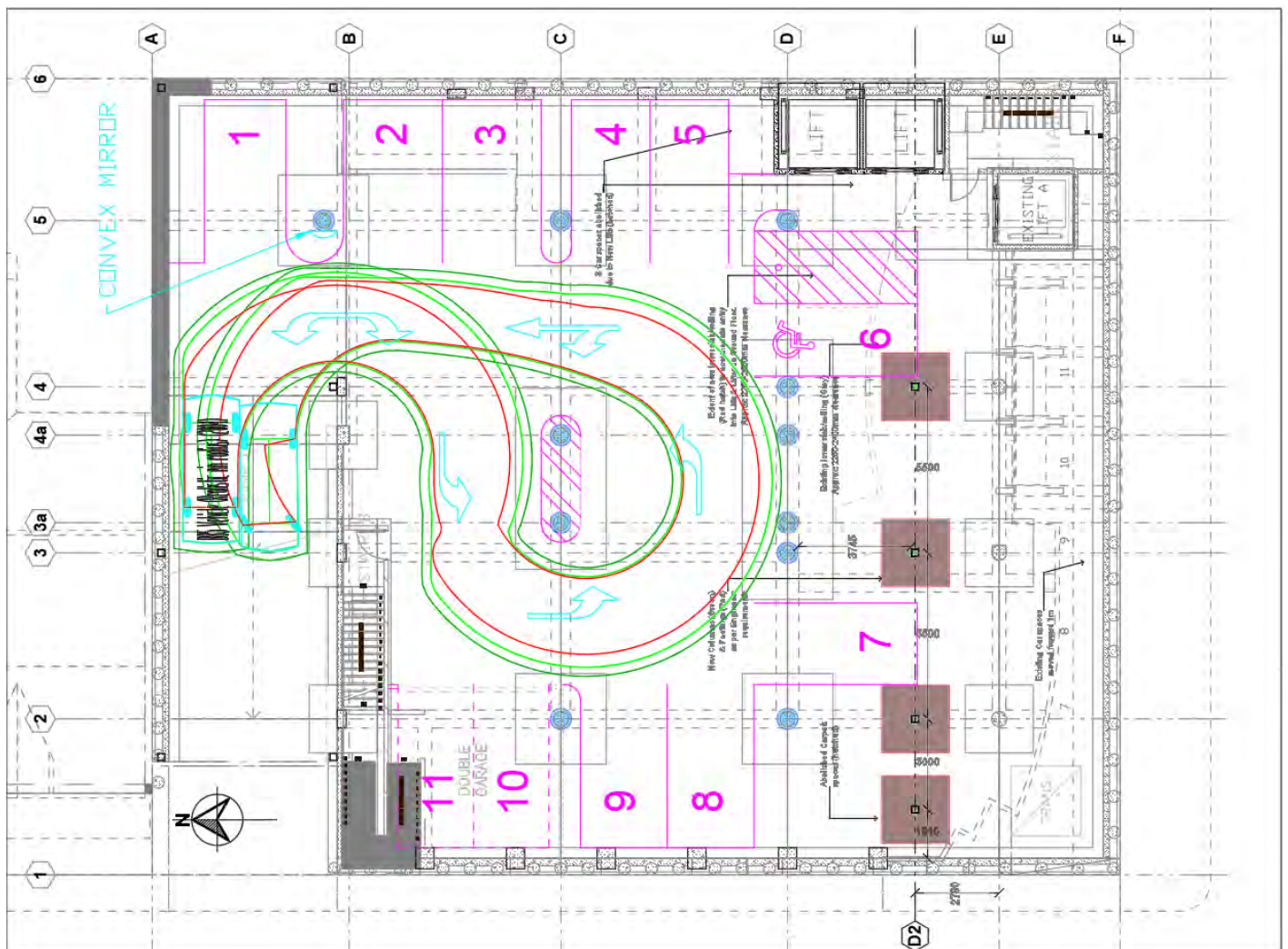


Figure 2: Proposed car park layout

*Figure 2* identifies suggested changes to the car parking layout including wider spaces which would result in a reduction in the capacity of the car park to 11 spaces. However, unlike the current car parking layout the dimensional requirements of each space would conform to or exceed the minimum requirements of the relevant off-street car parking standard. Notwithstanding this, I note that the subject development is located within the **Capital City Zone** and that there is therefore no requirement to provide on-site car parking.

*Figure 2* also identifies a B85 design vehicle circulating through the proposed car park layout.

While it is arguable that the proposed changes to the car parking area would result in any real loss of car parking, given the compromised width of the existing spaces and narrow aisles, the loss of these car parking spaces could be accommodated in the public car parking area directly adjacent to the subject development. I understand this car park is operated by the applicant.

Based on the proposed changes to the layout of the on-site car parking area we have prepared a series of turning (swept) path diagrams which identify the ability to access a number of the more critical car parking spaces with a B85 design vehicle. These additional figures include:

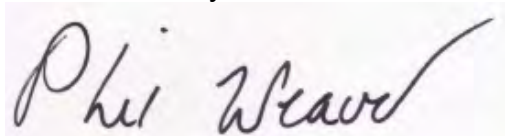
- *Figure 3*: Proposed space 1 B85 reverse entry movement,
- *Figure 4*: Proposed space 2 B85 entry and exit movements,
- *Figure 5*: Proposed space 3 B85 entry and exit movements,
- *Figure 6*: Proposed space 6 B85 entry and exit movements,
- *Figure 7*: Proposed space 8 B85 entry and exit movements, and
- *Figure 8*: Proposed space 9 B85 entry and exit movements.

On the above basis we consider that the proposed changes to line marking will compensate for the narrow width of the car park aisleways and will generally address the existing width issues associated with current car parking spaces.

The proposed amended car parking layout associated with the proposed development will also provide an accessible (disability) car parking space and associated shared area directly in front of the (proposed) relocated lifts. Such a compliant space is not currently provided.

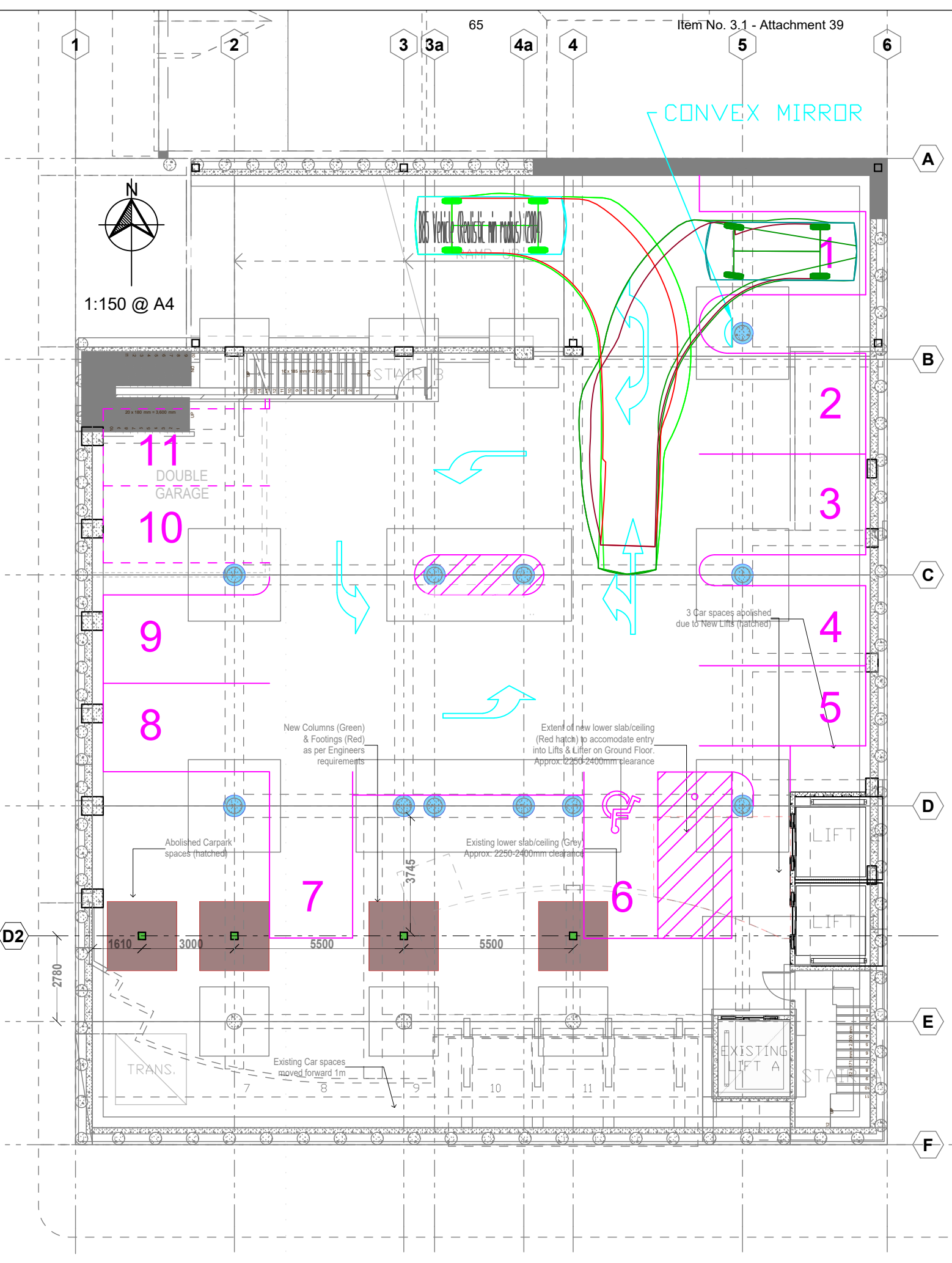
We recommend that the changes identified within *Figure 2* be incorporated within the subject development. On this basis we consider that the concerns previously raised by Council's traffic engineers should be addressed, in the most practical manner, in terms of the ability of drivers to appropriately enter and exit the various car parking spaces.

Yours sincerely,

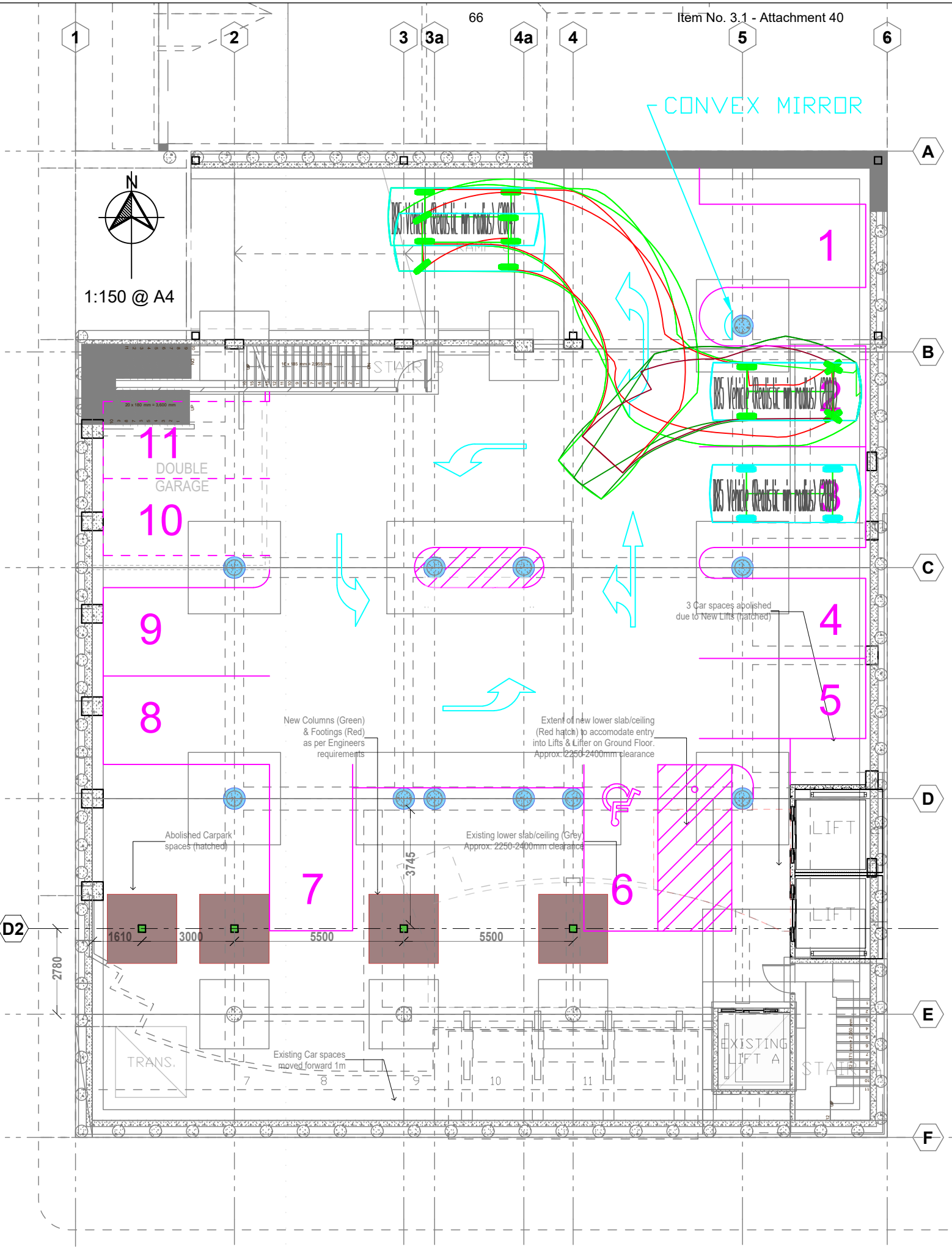


Phil Weaver  
Phil Weaver and Associates Pty Ltd

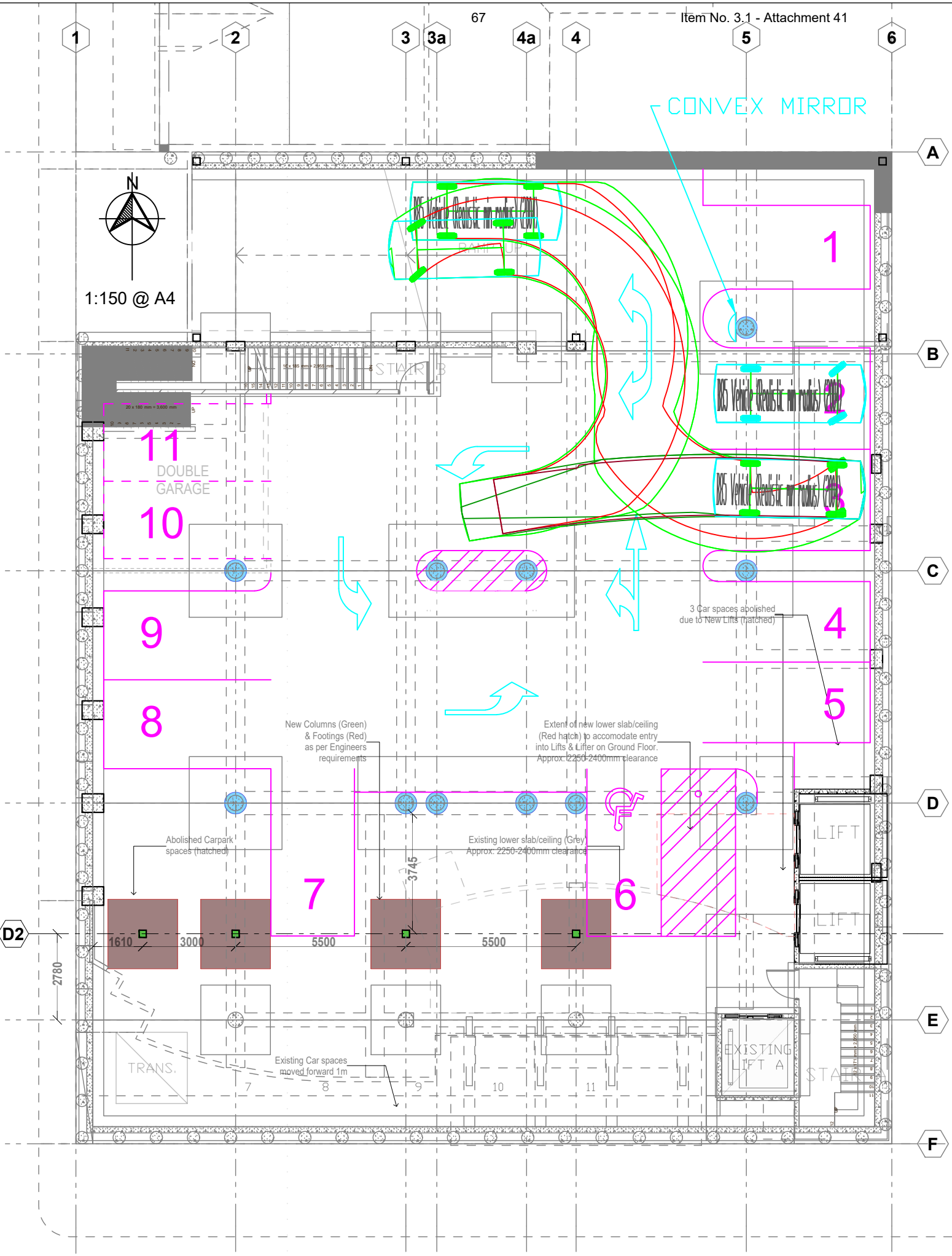




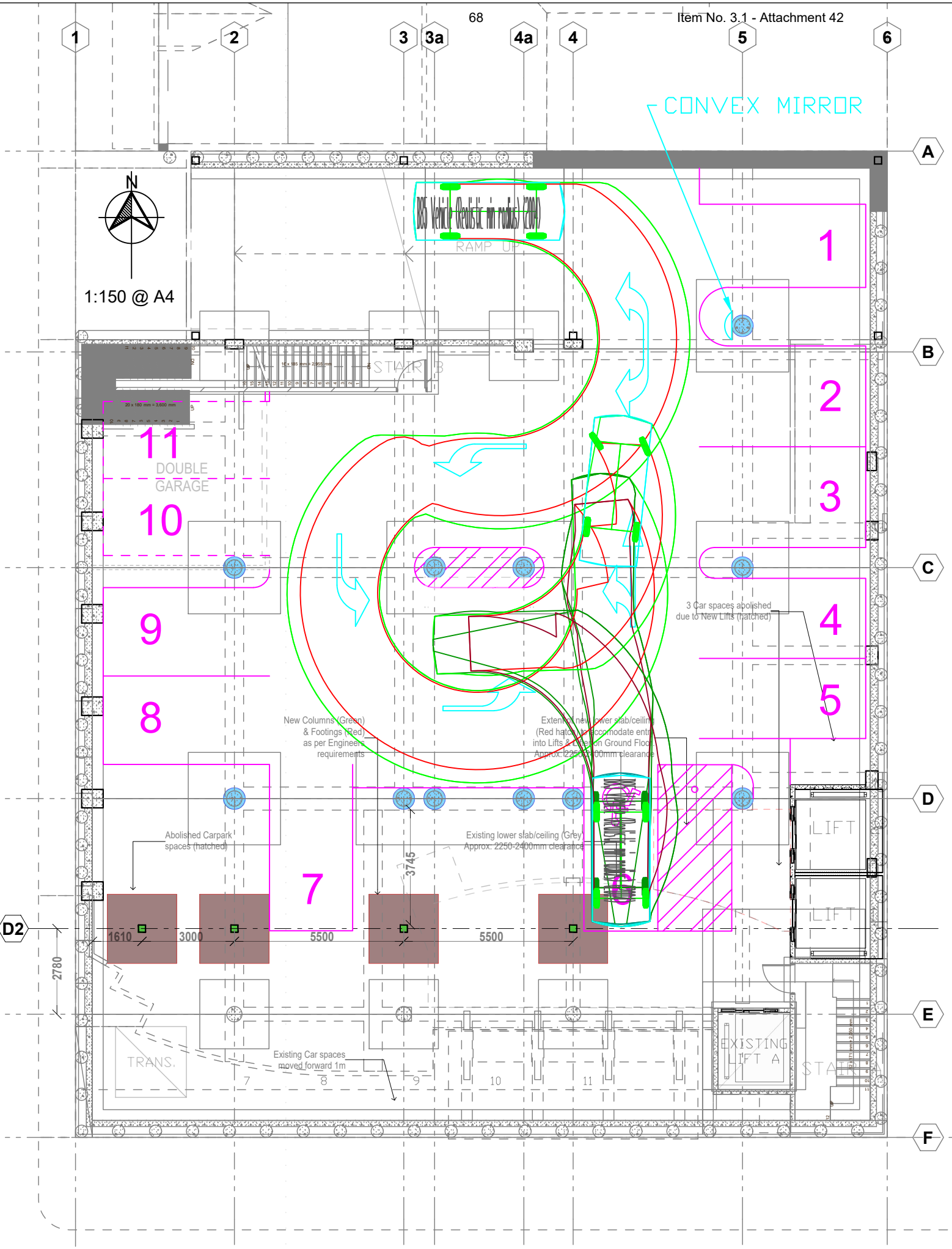
**FIGURE 3: SPACE 1** **21-24 NORTH TERRACE, ADELAIDE**  
 City of Adelaide Council Assessment Panel Meeting - Agenda - 9 September 2019  
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**FIGURE 4: SPACE 2** **21-24 NORTH TERRACE, ADELAIDE**  
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**FIGURE 5: SPACE 3** **21-24 NORTH TERRACE, ADELAIDE**  
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**FIGURE 6: SPACE 6** **21-24 NORTH TERRACE, ADELAIDE**  
 City of Adelaide Council Assessment Panel Meeting - Agenda - 9 September 2019

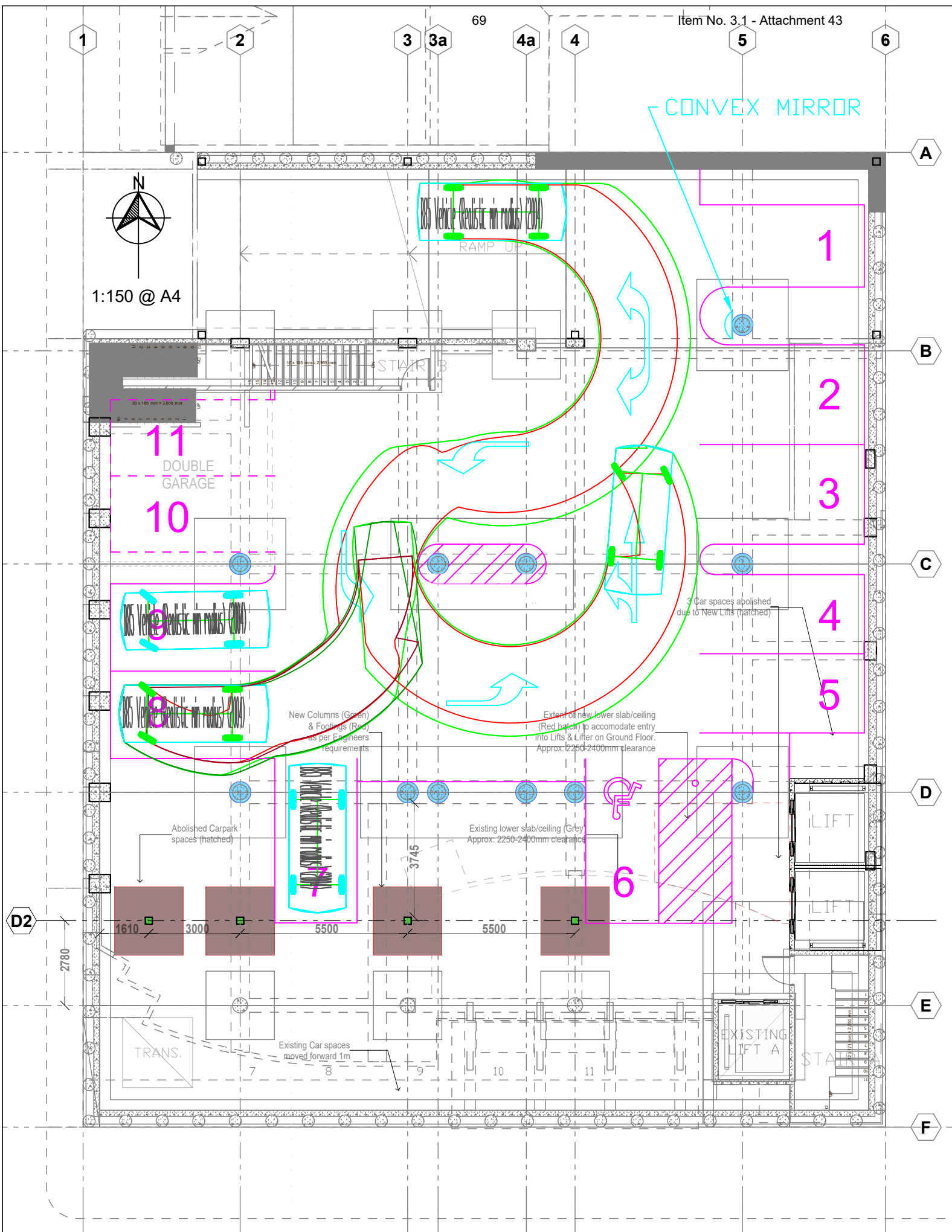
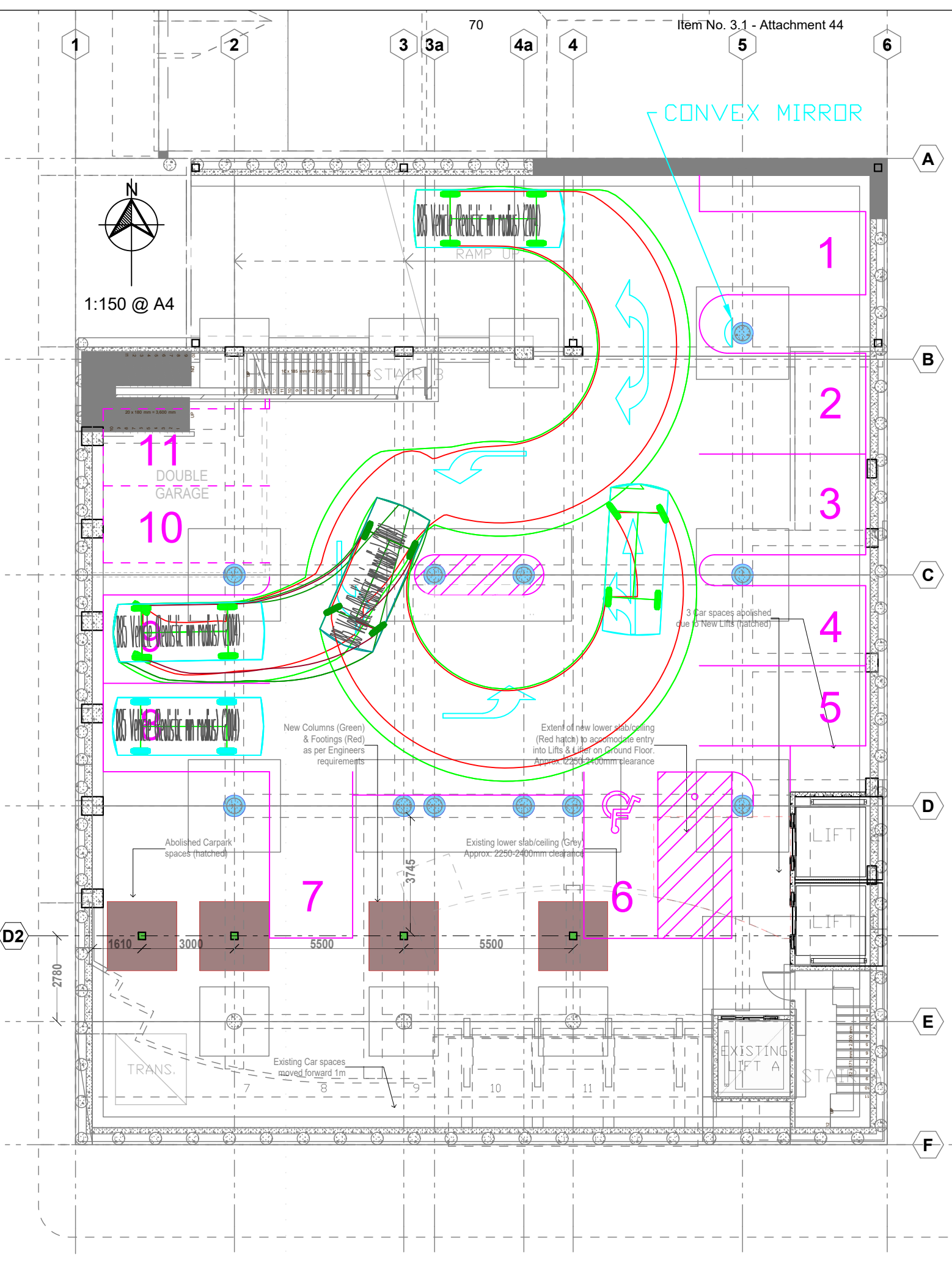


FIGURE 7: SPACE 8

21-24 NORTH TERRACE, ADELAIDE



**FIGURE 8: SPACE 9** **21-24 NORTH TERRACE, ADELAIDE**  
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PIPER ALDERMAN  
GPO BOX 65  
ADELAIDE SA 5001

LTO BOX 63

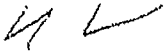
08 October 2018

## CONFIRMATION OF REGISTRATION NOTICE

The following dealings have been registered -

Dealing(s): TRANSFER 12995261  
Title(s): CT 5931/817  
Registration Date: 08/10/2018  
Customer Reference: AJR:411705

Confirmations of registration are attached on the following page(s).



Graeme Jackson  
Registrar-General  
Lands Titles Office



ABN 71 967 041 422  
[www.sa.gov.au/landservices](http://www.sa.gov.au/landservices)

**Land Services**  
Ground Floor, 101 Grenfell St, Adelaide 5000  
GPO Box 1354, Adelaide SA 5001, DX 58195  
Metro 08 8423 5000, Country 1800 648 176



Government  
of South Australia  
Department of Planning,  
Transport and Infrastructure

## CONFIRMATION OF REGISTRATION

### Certificate of Title - Volume 5931 Folio 817

#### Estate Type

FEE SIMPLE

#### Registered Proprietor(s)

TERRACE PARK PTY. LTD. (ACN: 627 866 095)  
OF L 1 25 GEORGE STREET THEBARTON SA 5031

#### Description of Land

ALLOTMENT 9 FILED PLAN 112454  
IN THE AREA NAMED ADELAIDE  
HUNDRED OF ADELAIDE

#### Easements

SUBJECT TO THE EASEMENT(S) WITH LIMITATIONS OVER THE LAND MARKED A TO DISTRIBUTION  
LESSOR CORPORATION (SUBJECT TO LEASE 8890000) (TG 10050899)

#### Schedule of Dealings

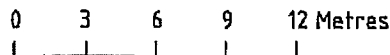
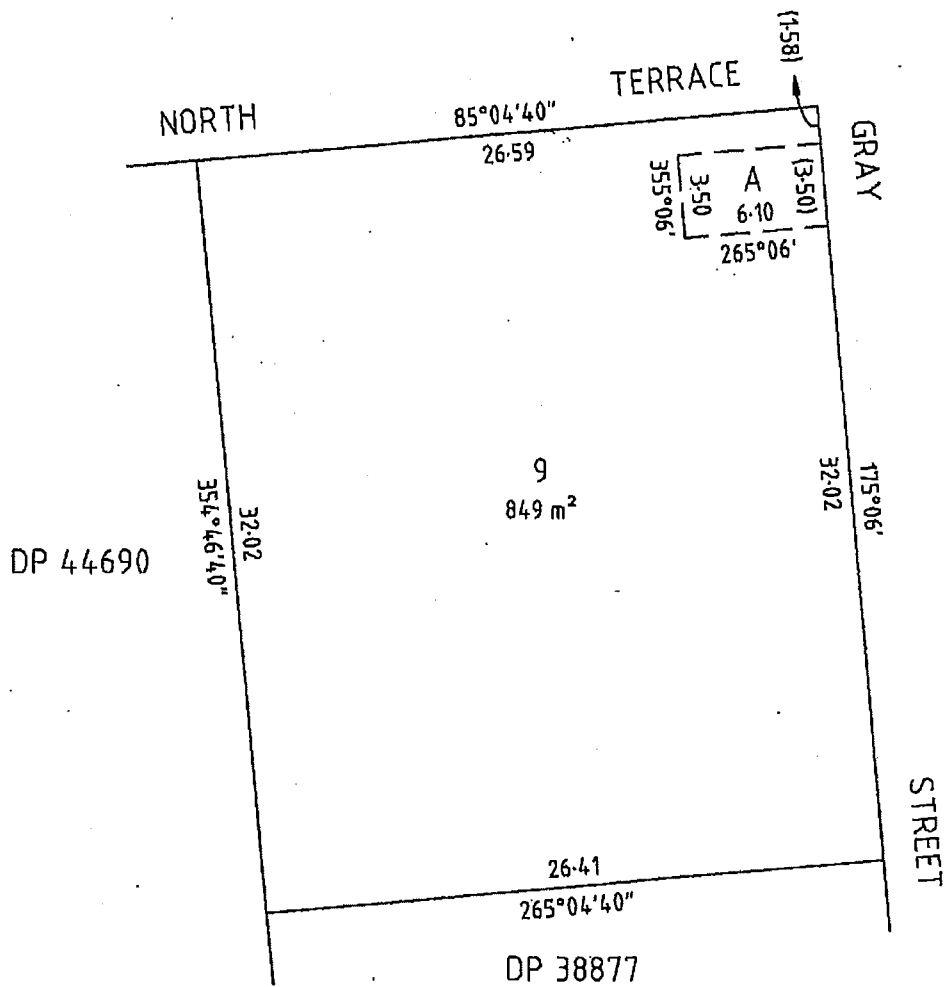
NIL

#### Registrar-General

#### Lands Titles Office







**CITY OF ADELAIDE COUNCIL ASSESSMENT PANEL ON 9/9/2019****Item No: 5.1**

From: Associate Director, Planning, Design &amp; Development

Subject: List of Recent Lodgment's for Planning Consent (2017/02505) [CAP]

**PURPOSE**

To provide Panel Members with a list of development applications lodged for planning consent for the period 9 August 2019 to 29 August 2019.

A total of 41 development applications with a total value of \$2,324,641 have been lodged for planning consent for this period.

**ATTACHMENTS**

Lodged Applications for Planning Consent

1 - 4

**RECOMMENDATION**

That the report be received.

**Item No. 5.1 – Attachments 1 - 4 (List of Recent Lodgements for Planning Consent)**

Pages 76 to 79

**DEVELOPMENT PLANNING - Council Assessment Panel Report**  
**Lodged Applications For Planning Consent From 9/08/2019 To 29/08/2019**

Item No. 5.1 - Attachment 1

Application Assessed on Merit

#	APPLICATION	ADDRESS	DESCRIPTION	LODGED	COST	NOTIFY CATEGORY
1	DA/216/2019/A	Ground 90 Hindley Street ADELAIDE SA 5000	Vary previous authorisation alterations to signage and replacement of bi-fold doors with sliding auto doors and minor internal upgrade - VARIATION - change doors to hinged aluminum framed glass doors	12/08/2019	TBA	Category 1
2	DA/227/2019/A	21-29 West Terrace ADELAIDE SA 5000	Vary previous authorisation for extension and refurbishment of the existing showroom - VARIATION - showroom extension, pedestrian gate added, entry on North Street changed to fixed glass window & general internal fit out changes to showroom.	28/08/2019	TBA	Category 1
3	DA/575/2019	165 East Terrace ADELAIDE SA 5000	Remove front roof gable	13/08/2019	\$10,000	Category 1
4	DA/577/2019	20 Ada Street ADELAIDE SA 5000	Construct a deck at first floor level	14/08/2019	\$5,000	Category 2
5	DA/578/2019	Ground 82 Flinders Street ADELAIDE SA 5000	Change of use from office to restaurant	14/08/2019	\$500,000	Category 1
6	DA/579/2019	Ground Shop 9 71-79 O'Connell Street NORTH ADELAIDE SA 5006	Replace existing signage	14/08/2019	\$16,000	Category 1
7	DA/580/2019	16-20 Witcombe Street ADELAIDE SA 5000	Change of use to warehouse with associated alterations including new roof and installation of a window and new brickwork to Witcombe Street facade	14/08/2019	\$130,000	Category 1
8	DA/581/2019	1 Frankis Close ADELAIDE SA 5000	Change of use from commercial to dwelling	14/08/2019	TBA	Category 1
9	DA/583/2019	WESTS COFFEE PALACE 108-112 Hindley Street ADELAIDE SA 5000	Change of use to personal services establishment and under canopy signage	14/08/2019	\$5,000	Category 1
10	DA/584/2019	144-150 Hindley Street, ADELAIDE SA 5000	Removal of nonsupport bearing partitions as per photo attached to accommodate for a bar/Function Venue/Small Arts Venue.	15/08/2019	\$10,000	To Be Determined

# DEVELOPMENT PLANNING - Council Assessment Panel Report

## Lodged Applications For Planning Consent From 9/08/2019 To 29/08/2019

Item No. 5.1 - Attachment 2

<b>11</b>	DA/585/2019	181-191 Victoria Square ADELAIDE SA 5000	Upgrade existing telecommunications facility including installation of antenna and associated equipment	13/08/2019	\$80,000	Category 1
<b>12</b>	DA/586/2019	24-34 Currie Street ADELAIDE SA 5000	Change the use of the ground floor eastern tenancy to a fitness studio, including internal alterations	15/08/2019	\$15,000	Category 1
<b>13</b>	DA/587/2019	5/12 Percy Court ADELAIDE SA 5000	Change of use to storage facility	15/08/2019	\$98,000	Category 2
<b>14*</b>	DA/590/2019	UNIVERSITY OF SA - WEST CAMPUS 36-55 North Terrace ADELAIDE SA 5000	Install five banners spanning above Fenn Place for temporary periods (up to 8 months in total) from 1 December 2019 to 1 December 2020	14/08/2019	\$21,978	Category 1
<b>15*</b>	DA/594/2019	430-438 Gilles Street ADELAIDE SA 5000	Remove significant tree (Pittosporum Undulatum)	19/08/2019	\$1,000	Category 1
<b>16</b>	DA/595/2019	78 Halifax Street ADELAIDE SA 5000	Convert existing ground floor to offices and construct additional upper floor for short term accommodation	19/08/2019	\$150,000	Category 1
<b>17</b>	DA/597/2019	Gladys Elphick Park / Narnungga (Park 25) West Terrace ADELAIDE SA 5000	Two temporary commentary booths for 2019/2020 cricket season	19/08/2019	\$12,900	Category 1
<b>18</b>	DA/600/2019	Ground Shop 6 8-10 O'Connell Street NORTH ADELAIDE SA 5006	Install light box signage on verandah facade	20/08/2019	TBA	Category 1
<b>19</b>	DA/601/2019	206 Melbourne Street NORTH ADELAIDE SA 5006	Construct single storey addition to existing medical clinic	20/08/2019	\$750,000	Category 1
<b>20</b>	DA/602/2019	123 Melbourne Street NORTH ADELAIDE SA 5006	Change of use to coffee shop	20/08/2019	\$15,000	Category 1
<b>21</b>	DA/603/2019	45-53 Gilbert Street ADELAIDE SA 5000	Change of use to multi-purpose space (cafe, retail and community facility) and internal fit-out	20/08/2019	\$150,000	Category 1
<b>22</b>	DA/604/2019	134-140 Grote Street ADELAIDE SA 5000	Alterations to create two tenancies (office and retail showroom) and accessibility upgrade	21/08/2019	\$25,000	Category 1

**DEVELOPMENT PLANNING - Council Assessment Panel Report**  
 Lodged Applications For Planning Consent From 9/08/2019 To 29/08/2019

Item No. 5.1 - Attachment 3

<b>23</b>	DA/605/2019	Oaks Embassy Ground 92 North Terrace ADELAIDE SA 5000	Apply obscure film to existing glass panels and signage and replace table tops	21/08/2019	\$11,410	Category 1
<b>24</b>	DA/606/2019	Ground 83-89 Currie Street ADELAIDE SA 5000	Printed signage to front glazing	21/08/2019	\$2,295	Category 1
<b>25</b>	DA/607/2019	305-307 Gilles Street ADELAIDE SA 5000	Repointing of western (stone) wall	22/08/2019	\$6,000	Category 1
<b>26</b>	DA/608/2019	Ground Shop 7-8 22-24 Gawler Place ADELAIDE SA 5000	Install signage to front facade	22/08/2019	\$12,000	Category 1
<b>27</b>	DA/609/2019	111 Barton Terrace W NORTH ADELAIDE SA 5006	Install verandah to rear of property	22/08/2019	\$11,970	To Be Determined
<b>28*</b>	DA/611/2019	289 Waymouth Street ADELAIDE SA 5000	Demolition of existing and existing pergola and construction of new verandah/carport	22/08/2019	\$4,000	Category 1
<b>29</b>	DA/612/2019	18 Gray Street ADELAIDE SA 5000	Change of use to records storage for City West campus	22/08/2019	TBA	Category 1
<b>30</b>	DA/617/2019	61-69 Grenfell Street ADELAIDE SA 5000	Retail tenancy fit-out and signage	23/08/2019	\$110,000	Category 1
<b>31</b>	DA/618/2019	Ground Shop 2 211 Victoria Square ADELAIDE SA 5000	Two under canopy signs	23/08/2019	\$20,000	Category 1
<b>32</b>	DA/619/2019	45-53 Gilbert Street ADELAIDE SA 5000	Internal alterations (1 tenancy into 3)	23/08/2019	\$8,000	Category 1
<b>33</b>	DA/620/2019	215-217 Hutt Street ADELAIDE SA 5000	Erect freestanding sign	23/08/2019	\$300	Category 1
<b>34</b>	DA/623/2019	76 Halifax Street ADELAIDE SA 5000	Repairs to subsiding corner of facade	27/08/2019	\$9,788	Category 1
<b>35</b>	DA/624/2019	158 Hutt Street ADELAIDE SA 5000	Installation of umbrella within the public realm	28/08/2019	\$6,500	Category 1
<b>36</b>	DA/625/2019	429-439 King William Street ADELAIDE SA 5000	Extension of ground floor to increase size of lobby	28/08/2019	\$41,800	Category 1

**DEVELOPMENT PLANNING - Council Assessment Panel Report**  
**Lodged Applications For Planning Consent From 9/08/2019 To 29/08/2019**

Item No. 5.1 - Attachment 4

<b>37</b>	DA/626/2019	UNIVERSITY OF ADELAIDE, North Terrace, ADELAIDE SA 5000	Garden party	28/08/2019	TBA	To Be Determined
<b>38</b>	DA/629/2019	24 Childers Street NORTH ADELAIDE SA 5006	Retro fit double-glazed units to existing window frames	29/08/2019	\$30,000	Category 1
<b>39</b>	DA/630/2019	195-209 Halifax Street ADELAIDE SA 5000	Install louvred verandah at second level	29/08/2019	\$35,700	Category 1
<b>40</b>	DA/973/2018/A	Level 1 28/128 Hindley Street ADELAIDE SA 5000	Vary previous authorisation install commercial kitchen and flue - VARIATION - change height of flue change and new air conditioning unit to roof	28/08/2019	TBA	Category 1
<b>S49 Crown Development</b>						
#	APPLICATION	ADDRESS	DESCRIPTION	LODGED	COST	NOTIFY CATEGORY
41	S49/10/2019	261-279 Victoria Square, ADELAIDE SA 5000	Reroofing of existing building 2 at Adelaide Supreme Court complex which comprises of replacing existing deteriorated galvanized roof sheeting and flashings; replacing eaves gutters and downpipes; and reconfiguring existing box gutter.	13/08/2019	\$20,000	Category 1

Please Note: Category 1 (No notification required)

Category 2 (Adjacent Owners and Occupiers Notified Only)

Category 3 (As for Category 2, plus other Owners and Occupiers directly affected to a significant degree)

**\* Approved**

## CITY OF ADELAIDE COUNCIL ASSESSMENT PANEL ON 9/9/2019

**Item No:** 6.1

**From:** Assessment Manager

**Subject:** Exclusion of the Public from attendance at the meeting to Consider Item 7.1 on a Confidential basis (2018/04291) [CAP]

Item 7.1 – ERD Court Consideration – Land, 22A Moger Lane, Adelaide - DA/812/2018

Information relating to actual litigation, or litigation that the panel believes on reasonable grounds will take place

### **PURPOSE**

To exclude the public from attendance at this part of the meeting for the Panel to consider Item 7.1 in confidence

### **REPORT**

#### Public Access to meetings

Regulation 13(1) of the *Planning, Development and Infrastructure (General) Regulations 2017 (SA)*, states:

13(1) In connection with the conduct of the proceedings of an assessment panel, members of the public are entitled to attend a meeting of the panel other than as set out in Regulation 13(2) of the *Planning, Development and Infrastructure (General) Regulations 2017 (SA)*.

#### Legislative Provision enabling the Council Assessment Panel to exclude the public from attendance

Regulation 13(2) of the *Planning, Development and Infrastructure (General) Regulations 2017 (SA)*, states:

13(2) An assessment panel may exclude the public from attendance at a meeting -

13(2)(a) during so much of a meeting as is necessary to receive, discuss or consider in confidence any of the following information or matters:

- (i) information the disclosure of which would involve the unreasonable disclosure of information concerning the personal affairs of any person (living or dead);
- (ii) information the disclosure of which –
  - (A) could unreasonably be expected to confer a commercial advantage on a person, or to prejudice the commercial position of a person; and
  - (B) would, on balance, be contrary to the public interest;
- (iii) information the disclosure of which would reveal a trade secret;
- (iv) commercial information of a confidential nature (not being a trade secret) the disclosure of which –
  - (A) could reasonably be expected to prejudice the commercial position of the person who supplied the information, or to confer a commercial advantage on a third party; and



- (B) would, on balance, be contrary to the public interest;
  - (v) matters affecting the safety or security of any person or property;
  - (vi) information the disclosure of which could reasonably be expected to prejudice the maintenance of law, including by affecting (or potentially affecting) the prevention, detection or investigation of a criminal offence, or the rights to a fair trial;
  - (vii) matters that should be considered in confidence in order to ensure that the assessment panel, or any other entity, does not breach any law, or any order or direction of a court or tribunal constituted by law, any duty of confidence, or other legal obligation or duty;
  - (viii) legal advice;
  - (ix) information relating to actual litigation, or litigation that the panel believes on reasonable grounds will take place;
  - (x) information the disclosure of which –
    - (A) would divulge information provided on a confidential basis by or to a Minister of the Crown, the Commission, or another public authority or official; and
    - (B) would, on balance, be contrary to the public interest; or
- 13(2)(b) during so much of the meeting that consists of its discussion or determination of any application or other matter that falls to be determined by the assessment panel.

#### Meeting Conduct

To consider information or a matter in confidence, the Panel through a formal resolution is required to exclude the public from the meeting.

#### Conclusion

The Panel is requested to exclude the public from this part of the meeting.

### **RECOMMENDATION**

That the public be excluded from this part of the meeting of the City of Adelaide Council Assessment Panel dated 9/9/2019, (except for members of Corporation staff and any person permitted to remain) to enable the Panel to consider on a confidential basis information relating to actual litigation, or litigation that the panel believes on reasonable grounds will take place for:

Item 7.1 – ERD Court Consideration – Land, 22A Moger Lane, Adelaide - DA/812/2018  
Section 13(2)(a) (ix) and 13(2)(b) of the *Planning, Development and Infrastructure (General) Regulations 2017 (SA)*

Item No 7.1 – Matter for Consideration on a  
Confidential Basis

DA/812/2018  
Land, 22A Moger Lane, Adelaide SA 5000  
ERD Court Consideration - Construct three four-storey  
townhouses on existing allotment

Section 13(2) (a) (ix) [*Planning, Development and Infrastructure  
(General) Regulations 2017 (SA)*]

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